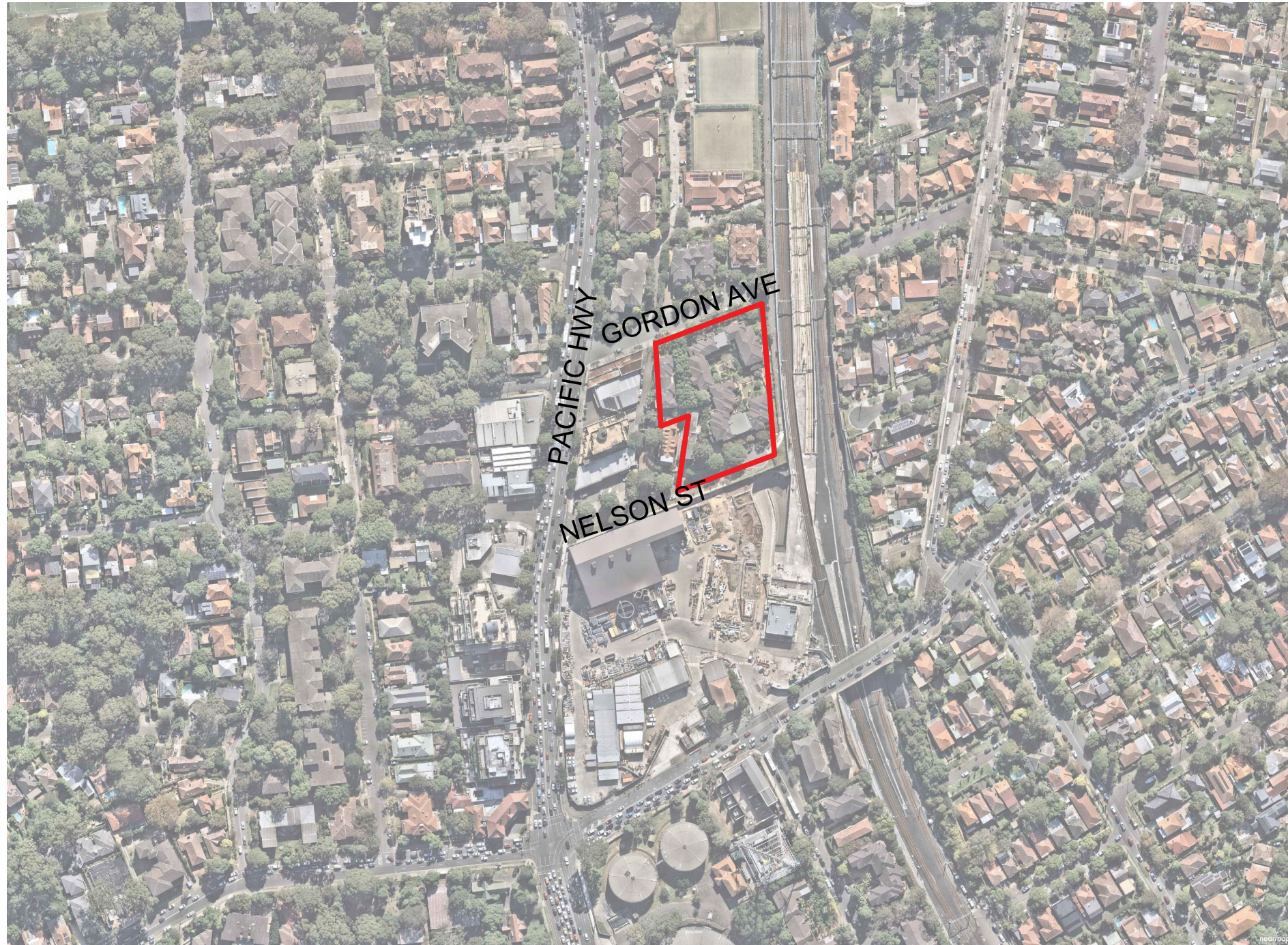


# 9-11 NELSON ST CHATSWOOD NSW DEVELOPMENT APPLICATION

## 2023031: LANDSCAPE ARCHITECTURAL DRAWING LIST

Sheet Number	Sheet Name	Revision
LD-DA000	COVER SHEET & DESIGN STATEMENT	2
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LD-DA011	TREE MANAGEMENT PLAN	2
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LD-DA120	LEVEL 2 COMMUNAL OPEN SPACE PLAN	1
LD-DA160	LEVEL 26 ROOFTOP PLAN	2
LD-DA201	GROUND FLOOR PLANTING PLAN	2
LD-DA210	LEVEL 1 PLANTING PLAN	1
LD-DA220	LEVEL 2 COS PLANTING PLAN	1
LD-DA230	LEVEL 3 PLANTING PLAN	1
LD-DA240	LEVEL 4 PLANTING PLAN	1
LD-DA250	LEVEL 5 PLANTING PLAN	1
LD-DA260	ROOFTOP PLANTING PLAN	2
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LD-DA900	TYPICAL DETAILS & OUTLINE SPECIFICATION & MAINTENANCE	1



## LANDSCAPE DA DESIGN STATEMENT

**Objectives:**

- to increase the number of indigenous species planted in the Chatswood region
- to eliminate the use of noxious weeds of potentially invasive species in developments
- to use plants in such a way to foster energy efficient development that relies on passive energy principles for heating and cooling
- to reduce maintenance and water consumption through appropriate species selection
- to create buffer zones and add to existing areas of remnant vegetation with locally indigenous species.

## Principles

- Enhance the appearance and amenity of the proposed residential development by sensitively integrating architecture and landscape through effective site planning and landscape design.
- Consolidate the open space into a coherent landscape treatment that provides visual amenity from above an below.
- Take forward the landscape principles and urban design principles established by the Site specific DCP by Willoughby City Council to Establish a visually and environmentally sensitive landscape, complimentary to the architectural vision and greater urban setting, while providing high quality private spaces for residents and visitors.
- Provide new tree planting that ameliorates the building scale and offers environmental benefit through micro climate.
- Create a garden terrace on level 1 with both integrated seating areas & engaging social gathering spaces

## Public Domain & Streetscapes

An upgrade and make-good of the public domain and associated streetscapes is included as part of the development offer to ensure seamless transitions throughout the ground plane. The ground plane is publicly accessible and offers a high quality civic environment with active frontages to both Leeds St & the foreshore.

## Access, Egress & Connectivity

The through site links act as the primary connectivity spines with finer grain permeability promoted throughout the ground plane maximising access and circulation. All fire exits are located near or adjacent to key pathways, pedestrian links and streetscapes promoting safe egress and evacuation if and when required.

## CPTED, Safety & Visibility

All raised edges & planter walls are at seating height or lower allowing clear sight-lines and visibility throughout the ground plane. Trees are used to frame spaces and ensure clear visibility to and from the streetscape at all times. Regular congregation spaces and retail activation enables passive surveillance to all areas, discouraging undesired behaviour and possible blind spots.

## Universal Access & DDA Compliance

The ground plane offers full universal accessibility to all reception, lobby and retail areas at maximum 1:21 grades have been implemented to ensure access for all is achieved.

### Soil Depths on Podiums & Permanent Planting

All planters have a minimum soil depth of 600mm with a minimum 200-400mm slab setback achieved throughout all landscaped areas in the development. This allows planter walls to be at seating height with additional 1:3 mounding to achieve soil depth for small trees where shown on plan. All noted planted areas in the design is permanent planting with the softworks equating to 46% of the total site area.

For deep soil calculations - refer to architectural design report

**NOTE:**

- DO NOT SCALE FROM DRAWINGS. WRITTEN DIMENSIONS GOVERN. IF IN DOUBT OBTAIN WRITTEN ADVICE FROM LANDFORM OR WHERE APPLICABLE VIA THE PRINCIPAL'S REPRESENTATIVE.

- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED.ALL DIMENSIONS ARE MINIMUM SETTING OUT REQUIREMENTS.

- ALL DIMENSIONS SHOULD BE VERIFIED ON SITE PRIOR TO PROCEEDING WITH THE WORKS. NOTIFY THE PRINCIPALS REPRESENTATIVE IN WRITING OF ANY DISCREPANCIES

- ALL LANDSCAPE DRAWINGS MUST BE READ IN CONJUNCTION WITH RELEVANT CONTRACTS, ARCHITECTURAL REPORTS, SCHEDULES AND SPECIFICATIONS AND ALL OTHER CONSULTANT / CONTRACT DOCUMENTATION. NOTIFY THE PRINCIPALS REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN DOCUMENTATION IN WRITING TO OBTAIN CLARIFICATION DIRECTION

- INSTALLATION OF SYSTEMS AND PROPRIETARY PRODUCTS TO BE STRICTLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

- ALL WORK TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE INCLUDING RELEVANT AUSTRALIAN STANDARDS AND REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA AND AUSTRALIAN WORK HEALTH AND SAFETY LEGISLATION.

- DESIGN DRAWINGS ARE BASED ON SURVEY INFORMATION. PRIOR TO DETAILED DESIGN AND CONSTRUCTION, THE CONTRACTOR IS TO UNDERTAKE A FULL SURVEY TO VERIFY ALL DIMENSIONS AND CONFIRM LOCATION OF EXISTING SERVICES

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2	DEVELOPMENT APPLICATION						RL	CR	CR	06.02.24													
1	DEVELOPMENT APPLICATION						RI	CR	CR	11.08.23													
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## PLANT SCHEDULE -DEVELOPMENT APPLICATION

CODE	SPECIES	COMMON NAME	ORIGIN	POT SIZE	EST. MATURE HT	INSTALL SIZE	SPACING	GROUND FLOOR & PUBLIC DOMAIN	LEVEL 2 PODIUM	ROOFTOP
TREES										
CUP ana	Cupaniopsis anacardioides	Tuckeroo	Native	400L	6-8m	2.2x1.0m	As Shown		As Shown	
DRA dra	Dracaena draco	Dragon tree	Exotic	200L	6-8m	2.2x1.0m	As Shown		As Shown	As Shown
CYA coo	Cyathea cooperi	Australian Treen Fern	Native	400L	6-10m	2.5x1.0m	As Shown		As Shown	
LAG ind	Lagerstroemia indica	Crepe Myrtle	Exotic	200L	6-10m	1.5x1.0m	As Shown		As Shown	As Shown
LIV aus	Livistona australis	Cabbage palm	Native	400L	12m	1.5x1.0m	As Shown		As Shown	
WAT flo	Waterhousea floribunda	Weeping Lilly Pilly	Native	400L	6-10m	1.5x1.0m	As Shown		As Shown	
ZEL ser	Zelkova serratta	Japanese Elm	Exotic	200L	10m	2.2x1.0m	As Shown		As Shown	
EUC hae	Eucalyptus maculata	Spotted Gum	Native	400L	15-20m	2.2x1.0m	As Shown	As Shown		
TRI lau	Tristaniopsis laurina	Water Gum	Native	400L	6-10m	2.2x1.0m	As Shown		As Shown	
HOW for	Howea forsteriana	Kentia palm,	Native	200L	6-10m	2.2x1.0m	As Shown		As Shown	
ELA ret	Eleaocarpus reticulatus	Blueberry Ash	Native	400L	6-10m	2.5x1.0m	As Shown		As Shown	
LOP con	Lophostemon confertus	Brush Box	Native	400L	15-20m	2.2x1.0m	As Shown	As Shown		
FRA pen	Fraxinus pennsylvanica	Green ash	Native	400L	15-20m	2.2x1.0m	As Shown	As Shown		
UNDERSTOREY PLANTING										
	MIX TYPE 1 - FULL SUN / PART SHADE									
	SHRUBS									
ACM smi	Acmena smithii	Hinterland Gold'	Native	45L	3-4m	500mm	1per m2	As Shown	As Shown	As Shown
CAL vim	Callistemon viminalis 'Better John' LJ1'	Bottlebrush	Native	200mm	0.6-1.2m	300mm	1per m2	As Shown		
HEL pet	Helichrysum petiolare 'Limelight'	Licorice Plant	Exotic	300mm	0.5m	300mm	1per m2	As Shown	As Shown	As Shown
BAN spi	Banksia spinulosa	Hairpin Banksia	Native	300mm	2m	300mm	1per m2	As Shown	As Shown	As Shown
BAN rob	Banksia robur	Swamp Banksia	Native	300mm	3-4m	300mm	1per m2	As Shown		
WES fru	Westringia fruticosa 'Grey Box' WES04	Coastal Rosemary	Native	300mm	1	300mm	1per m2	As Shown	As Shown	As Shown
	GRASSES									
PEN naf	Pennisetum alopecuroides 'Nafray'	Foxtail Grass	Native	150mm	80cm x 60cm	200mm	3 per m2	As Shown		
LOM lon	Lomandra longifolia 'LM400	Matt Rush	Native	150mm	80cm x 60cm	200mm	3 per m2	As Shown	As Shown	As Shown
POA lab	Poa labillardieri 'Eskdale'	Poa	Native	150mm	80cm x 60cm	200mm	3 per m2	As Shown	As Shown	As Shown
	CLIMBERS + GROUNDCOVERS									
CAR gla	Carpobrotus glaucescens	Pig Face	Native	150mm	150mm	100mm	4 per m2	As Shown	As Shown	As Shown
CAS gla	Casuarina glauca 'Cousin It'	Cousin It	Native	150mm	150mm	100mm	4 per m2	As Shown	As Shown	As Shown
GAZ tom	Double Gold™ Gazania hybrid 'GT20'	Gazania	Native	150mm	200mm	100mm	4 per m2	As Shown		
SEN ser	senecio serpens	Blue chalks sticks	Native	150mm	200mm	100mm	4 per m2	As Shown	As Shown	As Shown
MYO par	Myoporum parvifolium 'Yareena'	Creeping boobialla	Native	150mm	200mm	100mm	4 per m2	As Shown	As Shown	As Shown
	MIX TYPE 2 - PART SHADE / SHADE TOLERANT									
	SHRUBS									
ALP cae	Alpinia caerulea	Native Ginger	Native	300mm	1-3m	500mm	As Shown	As Shown	As Shown	
STR jun	Strelitzia juncae	Narrow Leaved Birds of Paradise	Native	300mm	1-3m	500mm	As Shown	As Shown	As Shown	
PHI xan	Philodendron xanadu	Xanadu Philodendron	Native	200mm	1m x 1m	300mm	As Shown	As Shown	As Shown	
CYC rev	Cycas revoluta	Sago Palm	Native	300mm	1m	300mm	As Shown	As Shown	As Shown	
	GRASSES									
CLI min	Clivia miniata	Bush Lily	Native	150mm	80cm x 50cm	100mm	3 per m2	As Shown	As Shown	
LOM lon	Lomandra longifolia 'LM400	Matt Rush	Native	150mm	80cm x 60cm	200mm	3 per m2	As Shown	As Shown	
	CLIMBERS + GROUNDCOVERS									
PLE par	Plectranthus parviflorus	Cockspur Flower	Native	150mm	0.2m x 0.6m	100mm	4 per m2	As Shown	As Shown	
LIR mus	Liriope muscari 'Evergreen Giant'	Giant Liriope	Exotic	150mm	0.4m x 0.6m	100mm	4 per m2	As Shown	As Shown	
VIO hed	Viola hederacea	Native Violet	Native	150mm	0.2m x 0.5m	100mm	4 per m2	As Shown	As Shown	
	MIX TYPE 3 - WSUD RAIN GARDENS									
CAR app	Carex appressa	Tall Sedge	Native	150mm	0.2m x 0.6m	100mm	3 per m2	As Shown		
FIC nod	Ficinia nodosa	Knotted Club Rush	Native	150mm	0.2m x 0.6m	100mm	3 per m2	As Shown		
LOM lon	Lomandra longifolia	Basket Grass	Native	150mm	0.2m x 0.6m	100mm	3 per m2	As Shown		
GOO ova	Goodenia ovate	Hop Goodenia	Native	150mm	0.2m x 0.6m	100mm	3 per m2	As Shown		

## LEGEND

LEGEND:

 Site Boundary

### Basement Extents

Existing tree to be retained and protected  
(Significant Trees Numbered as per  
Arborists Report)



EX 67.85 Existing levels: refer to site survey

+ RL 67.85 Proposed nominal design levels: refer to engineers drawings



standards

P2 Paving Type 2: Porphyry pavers

19 Flaming Types: sandstone crazy paving

14. Having Type 4: Reinforced glass mesh

### Partikulare Typen: Movar

15 Hardwood Timber Deck

on Coating Water

BN Bill to Council standards

General Notes:

For Site levels and architectural information refer to Civil and Architects drawings respectively.

For courtyard and overflow drainage refer to

## Hydraulic engineers drawings

All trees to be retained and are subject to tree protection & management in accordance with relevant Australian standards.

External Lighting and electrical : refer to engineers details.

Contractor to protect all landscape works during construction including but not exclusive to existing verge.

Levels general : contractor to ensure positive drainage to all pavements, turf and planter areas, install subsoil drainage to planter areas as required.

FOR TREE REMOVAL & RETENTION -  
PLEASE REFER TO ARBORISTS REPORT

**NOTE: PLANTING NUMBERS AND SCHEDULES FOR DA PURPOSES - SUBJECT TO DESIGN DEVELOPMENT**

[illegible]

Plot Date: 6 February 2024 - 4:09 PM

Plotted by: Runshi Liu

Cad File No: C:\Users\RunshiLiu\Landform Studios\Company Files - Documents\2023\2023031 9-11 Nelson St Chatswood DA\CAD\2023031-LD-DA100[3].dwg

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1	DEVELOPMENT APPLICATION					RI	CR	CR	11.08.23						
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														Approved	(Project Director)			Title	LEVEL 2 LANDSCAPE PLAN		
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																		Rev:	1		











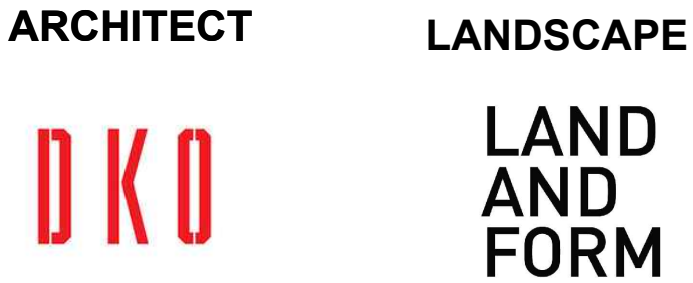
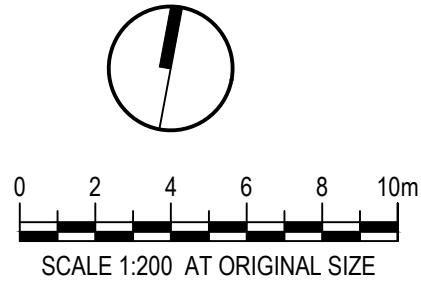


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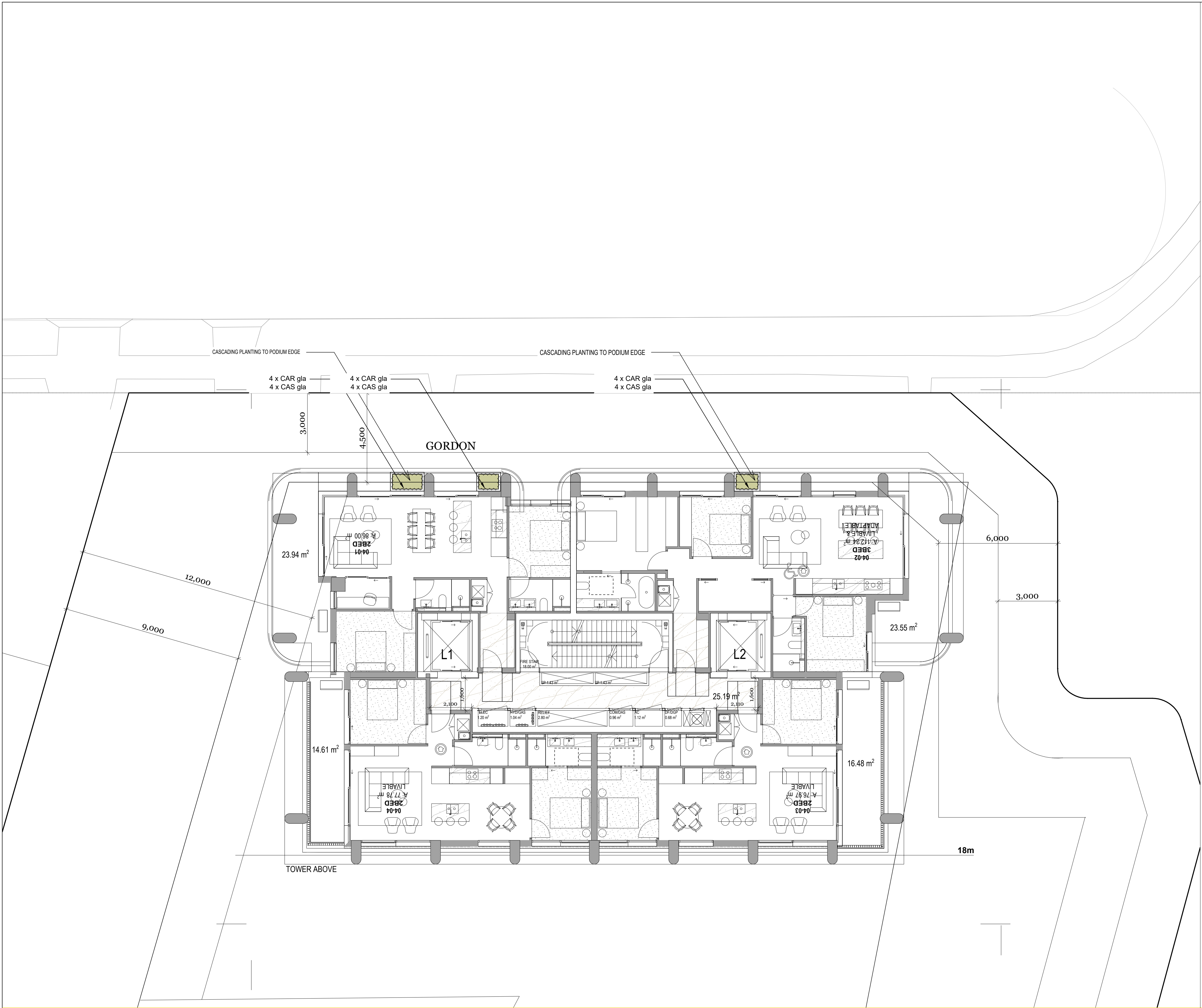
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Client	VIMG		
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Title	LEVEL 2 PLANTING PLAN		
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Original Size	Drawing No:	LD-DA220	Rev: 1









					  SCALE 1:100 AT ORIGINAL SIZE				<b>DO NOT SCALE</b>		Drawn RI	Designer CR/ RI	Client <b>VIMG</b> Project <b>9-11 NELSON ST, CHATSWOOD</b> Title <b>LEVEL 4 PLANTING PLAN</b>
		Drafting Check CR	Design Check CR										
		Approved (Project Director) Date											
		Scale 1:100	This Drawing must not be used for Construction unless signed as Approved										
1	DEVELOPMENT APPLICATION				RI	CR	CR	11.08.23			Original Size <b>A1</b> Drawing No: <b>LD-DA240</b>		Rev: <b>1</b>
No	Revision	Note: * indicates signatures on original issue of drawing or last revision of drawing			Drawn	Job Manager	Project Director	Date					









						 SCALE 1:100 AT ORIGINAL SIZE	<div>CLIENT</div> <div></div>	<div>ARCHITECT</div> <div></div>	<div>LANDSCAPE</div> <div></div>	<div>DO NOT SCALE</div> <div>Conditions of Use. This document may only be used by the client (and any other person who the client has agreed can use this document) for the purpose for which it was prepared and must not be used by any other person or for any other purpose.</div>	<div>Drawn</div> RL	<div>Designer</div> CR/ RI	<div>Client</div> <b>VIMG</b>
										<div>Drafting Check</div> CR	<div>Design Check</div> CR	<div>Project</div> <b>9-11 NELSON ST, CHATSWOOD</b>	
										<div>Approved (Project Director)</div> <div>Date</div>			<div>Title</div> <b>ROOFTOP PLANTING PLAN</b>
										<div>Scale</div> 1:100	<div>This Drawing must not be used for Construction unless signed as Approved.</div>		<div>Original Size</div> <b>A1</b>
No	Revision	Note: * indicates signatures on original issue of drawing or last revision of drawing	Drawn	Job Manager	Project Director	Date				<div>Drawing No:</div> <b>LD-DA260</b>	<div>Rev:</div> <b>2</b>		
2	DEVELOPMENT APPLICATION		RL	CR	CR	06.02.24							
1	DEVELOPMENT APPLICATION		RL	CR	CR	11.08.23							





Plot Date: 6 February 2024 - 3:37 PM      Plotted by: Runshi Liu      Cad File No: C:\Users\RunshiLiu\Landform Studios\Company Files - Documents\2023\2023031 9-11 Nelson St Chatswood DA\CAD\2023031-LD-DA400\3.dwg



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LANDSCAPE OUTLINE SPECIFICATION NOTES

GENERAL:

Note the following is an outline specification for DA purposes only.

All works are to be performed by suitably qualified and experienced trades persons in landscape works. All works shall be supervised by a qualified superintendent.

SERVICES IDENTIFICATION

The contractor shall verify the position of all services prior to the commencement of works and take all necessary precautions to protect services during implementation works.

SITE ESTABLISHMENT

The contractor shall establish site access and compound in position agreed with the Superintendent and or subject to Council approval. The Contractor shall be totally responsible for protecting the site works during construction and establishment including vegetation, pedestrian and vehicular management. Implement erosion control and site management practices to secure the site and to comply with all statutory requirements.

EARTHWORKS & DRAINAGE

Bulk earthworks are by the civil contractor. The landscape contractor shall allow for minor earth trimming and profiling to prepare landscape areas to accept the nominated treatment. Protect exposed earthworks with temporary erosion measures and coordinate the on-site disposal of excess spoil with the Superintendent.

SUBSOIL AGRICULTURAL DRAINS:

All tree positions shall be free draining with positive drainage to SW outlets or natural drainage systems. Install 100mm diameter agg. drains including 200mm wide column of 10-20mm crushed drainage gravel and geo-textile fabric - Bidum A24. Seek direction from the site superintendent.

PIT LIDS:

The Contractor is to protect all pit lids during earthworks preperation. Retain Telstra concrete oval covers & pit checker plate steel pit covers, and concrete service pits. New pit lids are to be suitable for paver infill.

HARD LANDSCAPE WORKS

PAVEMENTS:

Modular Pavement Systems - Pedestrian: Stone paving product  
Pavements systems shall conform to the approved Public Domain Framework and or Council's streetscape guidelines to the extent defined on the landscape plans. Supply and install pavements to the pattern nominated over concrete base including; base preparation, mortar bedding, placement, mechanical cutting, expansion | control joints, grout jointing and finishing to achieve levels and positive drainage.

ROADWORKS: Refer to Engineers drawings for grading, materials and set-out.

FURNITURE & FIXINGS

Supply and install furniture and fixing in the positions nominated on the plans or as agreed on site with the superintendent. All items are to be installed on concrete base slab or in-ground footings strictly in accordance with the manufacturer's specification. Where necessary, allow for cutting of pavements and or core drilling installation method.  
The pavements shall comply with Council and Australian Standards

LIGHTING

Refer to the electrical engineer's plans for lighting circuits and installation. The general layout are nominated on the landscape plans.

SOFT LANDSCAPE WORKS

SOIL MIX:

Imported Soil Mix:  
All planter areas shall have a minimum soil depth of 300mm and 100mm to turf | grass areas with landscape quality soil that conforms to AS 4419 Soils for Landscaping and Gardens.

Ameliorated site topsoil mix:  
The Contractor is to use stockpiled site topsoil adding soil additives and chemicals; lime gypsum and fertiliser nutrients to achieve AS4419.

SAMPLE & TESTING:

Provide 1kg soil mix test sample and data to of imported or modify site soil , clearly

identified and referenced to the test data, prepared by an independent soil laboratory. Submit to the Superintendent for approval prior to supply and placement.

FERTILISER: Apply slow release Organic fertiliser at the time of planting with pellets to advanced tree positions strictly in accordance with the manufacturers specification and with regard to season, soil mix, watering regimes and sub grade conditions.

PLANT MATERIALS:

Refer to the plant schedule. The contractor shall ensure that all plant materials are secured immediately upon award of contract. Failure to do so will not give rise to substitutions or extensions of time. All stock shall be grown in open areas which are exposed to the sun and wind to promote vigorous plant growth and to harden plants off. All plant material shall be pest and disease free. All plant material shall not be root bound or damaged. Plant densities shall reflect accepted industry standards and Councils guidelines for Landscape Works and be sourced from an accredited nursery. The Contractor will be responsible for purchasing and coordination of delivery to satisfy the construction program. It is the Contractor's responsibility to check trees at the supply source and to accept delivery of the trees at site, ensuring that the trees are supplied in accordance with the specification and are in good health. The Contractor shall allow for unloading and placement of all advanced tree materials.

All bag stock shall conform to the specification and must be secured from an Accredited Nursery. The current Natspec Guide "Purchasing Landscape Trees" is a **guide only** for quality tree production. All trees must be able to be planted without the use of tree stakes. Any trees requiring staking to be held vertical shall be rejected.

ADVANCED TREES:

Plant stock shall have a well developed straight stem with tri-branching structure and healthy canopy typical to the species and to the minimum sizes scheduled.

Excavate a hole a minimum 2X wider than the root ball and deep enough to accept a minimum 200mm of topsoil below. Break up the base of the hole to a further depth of 200mm, and loosen compacted sides of the hole as necessary to prevent confinement of root growth to the hole. Loosen sides of root ball to promote growth. Backfill with nominated soil mix, lightly tamp and water to eliminate air pockets. Ensure positive drainage to all tree positions.

Supply and install root barrier as nominated and staking as detailed on plans.

IRRIGATION SYSTEM: Supply and install an automatically controlled system to landscape areas identified on the plans to achieve 25mm/week precipitation rate. This system shall have a rain switch and have backflow prevention devices fitted in accordance with Councils regulations.

MAINTENANCE PERIOD:

General  
Planting maintenance period: the planting maintenance period will be 52 weeks and will commence from the date of practical completion. Of each phase of planting works (hereby specified to be a separable part of the works). It is anticipated that planting works will be undertaken in one phase  
Planting maintenance program: 2 weeks prior to practical completion, furnish a proposed planting establishment program, and amend it as required. Such proposal should contain details of the types and frequency of maintenance activities involved with the establishment of plants and grassed areas. Comply with the approved program.  
Planting maintenance log book: keep a log book recording when and what maintenance work has been done and what materials, including approved toxic materials, have been used. Log book must be signed off by the client's representative after each maintenance visit. Maintain log book in location nominated by superintendent. All entries are to be initialised by person nominated by superintendent. Log book to contain a copy of the approved planting establishment program.  
Product warranty: submit the supplier's written statement certifying that plants are true to the required species and type, and are free from diseases, pests and weeds.  
Insurance: the contractor is to ensure suitable insurance cover and / or bank guarantee is in place for the theft and / or damage of all works executed under this contract for the plant maintenance period.

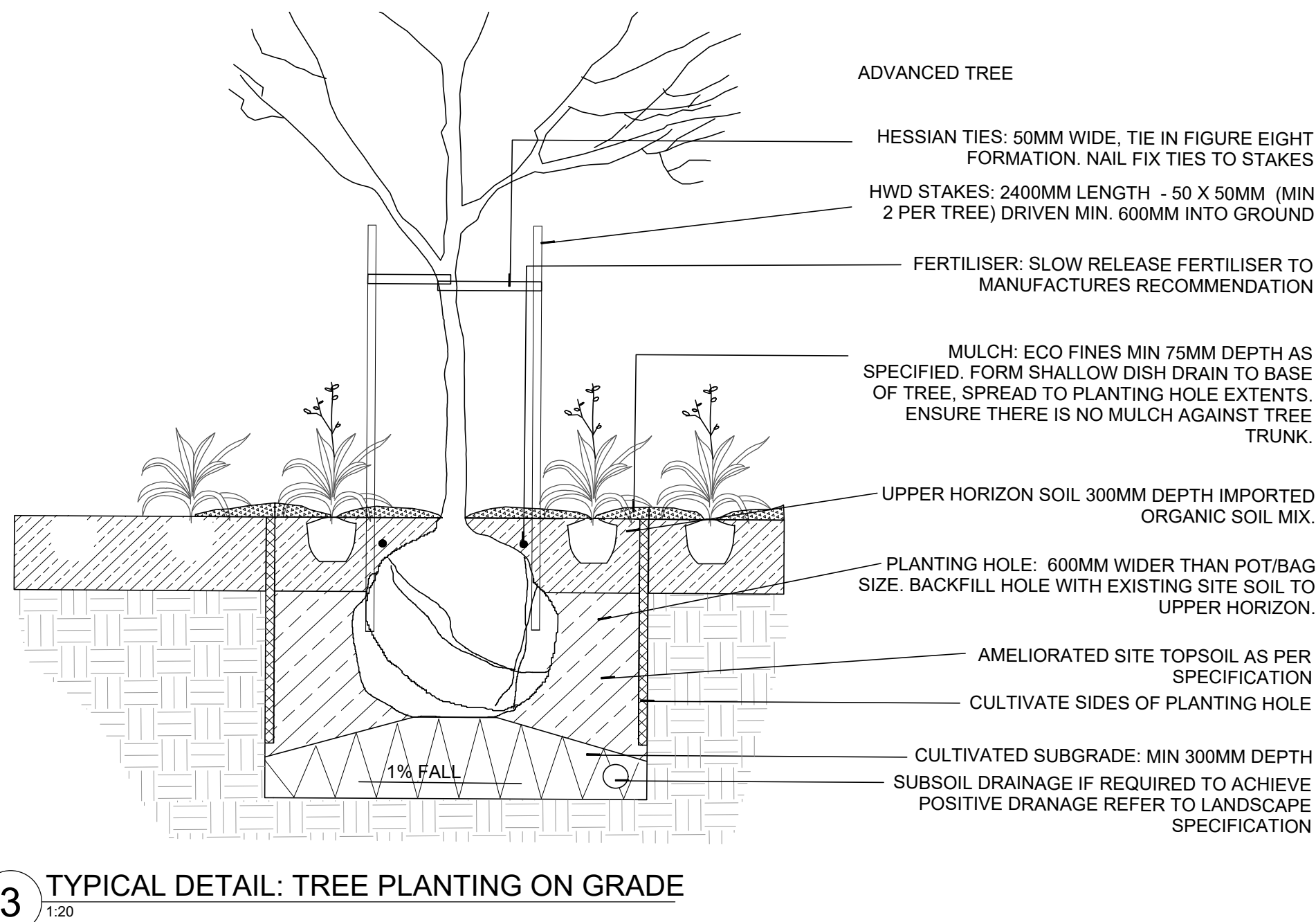
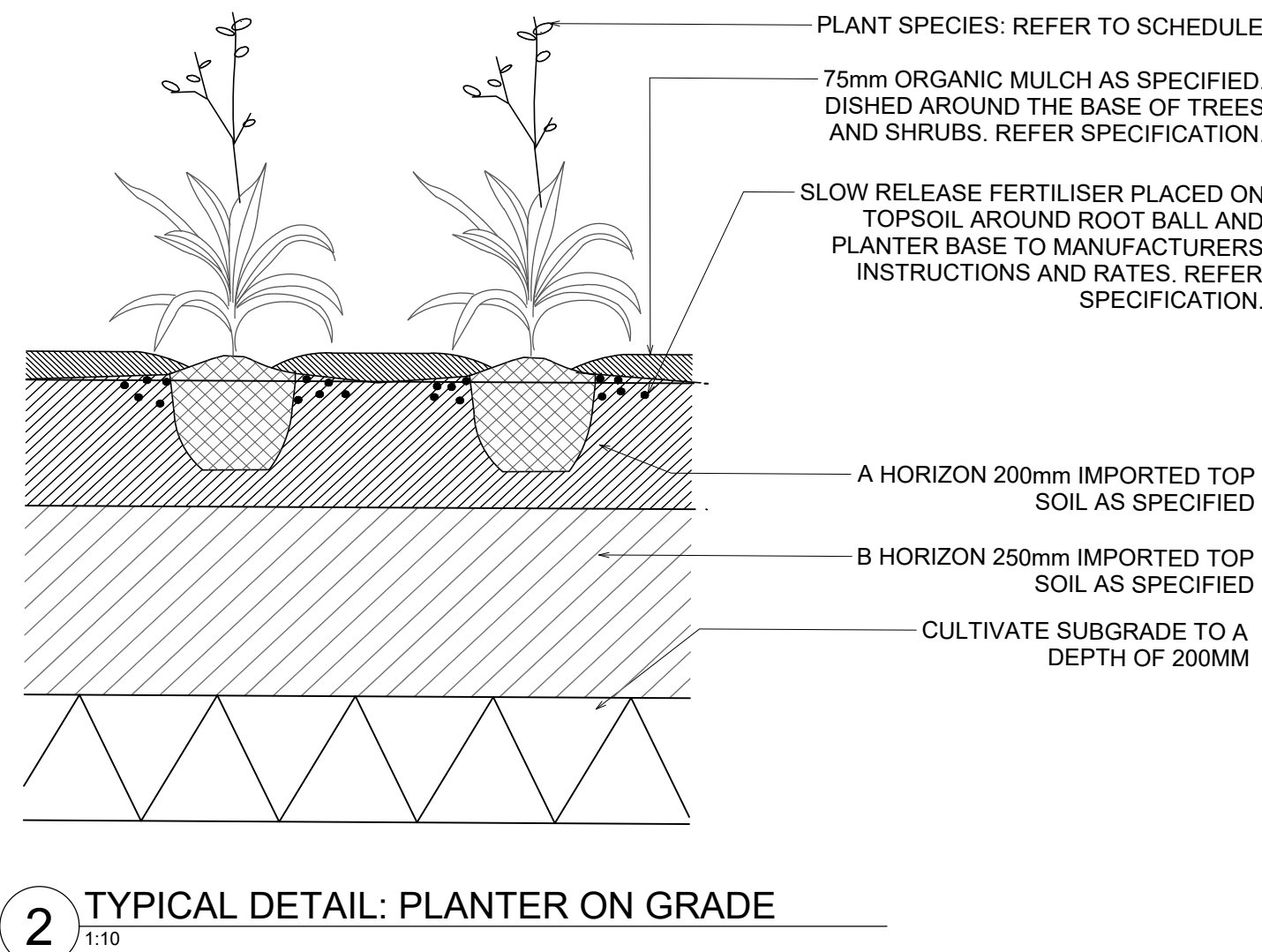
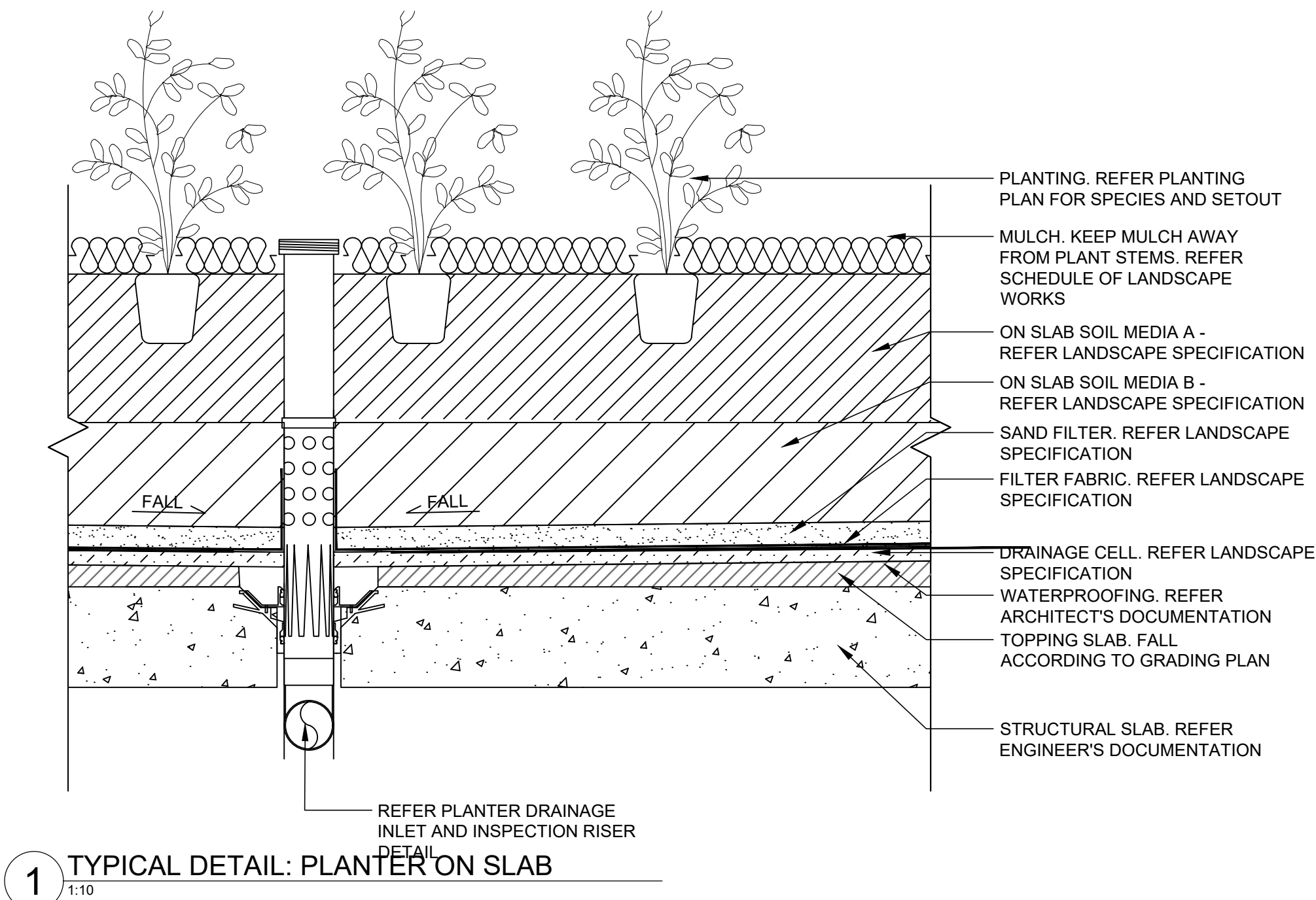
All Drawings To Be Read In Conjunction With Structural, Mechanical, Hydraulic and Electrical Engineers' Detail Drawings And Specifications.

\*\*\*\* ALL WORKS WITHIN THE PUBLIC DOMAIN IN ACCORDANCE WITH WILLOUGHBY CITY COUNCIL SPECIFICATION AND DETAILS\*\*

All Levels Indicated Taken To Australian Height Datum (AHD)

Refer to Detail Drawings For Typical Details.

Generally All Materials & Construction to Comply To AS 3700



NOT FOR CONSTRUCTION

1	DEVELOPMENT APPLICATION		RI	CR	CR	11.08.23
No	Revision	Note: * Indicates signatures on original issue of drawing or last revision of drawing	Drawn	Job Manager	Project Director	Date

CLIENT



ARCHITECT



LANDSCAPE



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Drawn RI

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Approved (Project Director) Date

Scale AS SHOWN

Designer CR/ RI

Design Check CR

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Client

Project

Title

Original Size

VIMG

9-11 NELSON ST, CHATSWOOD

TYPICAL DETAILS & OUTLINE MAINTENANCE SPECIFICATION

A1

Drawing No: LD-DA900

Rev: 1





LANDSCAPE ARCHITECTURE  
DEVELOPMENT APPLICATION [V2]  
08.02.24

# 9-11 NELSON STREET, CHATSWOOD

LAND  
AND  
FORM



# LAND AND FORM

Prepared for

VIMG  
Suite 12, Pier 3,  
13 Hickson Rd, Dawes Point NSW 2000



Development Application [v2]  
08/02/2024

This Design Report provides an explanation that verifies how the development addresses how design quality principles are achieved, and demonstrates, in terms of the DCP and how the objectives and relevant sections have been achieved.

Land and Form Studios  
10 Boronia Street, Redfern 2016 NSW

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This document has been prepared in collaboration with:





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# ACKNOWLEDGMENT OF COUNTRY

We acknowledge the Cammeraygal people of the Eora Nation, the traditional Owners and Custodians of the land in which the our site is located and in which we gather, and pay our respects to the Elders past, present and future.



# INTRODUCTION & CONTEXT



# STRATEGIC CONTEXT (GANSW)

## RELEVANT POLICIES, GUIDELINES & CONTROLS

### BETTER PLACED & GREENER PLACES (GANSW)

Good design is fundamental in creating better places, considering the needs of people and the community. The NSW EP&A Act has been amended to include the new design object, reinforcing the importance of good design and amenity in the planning process.

- To promote good design and amenity of the built environment
- To promote the sustainable management of built and cultural heritage (including Aboriginal cultural heritage)

GANSW policies and guidance form the line of sight from the Environmental Planning & Assessment (EP&A) Act amendments to include the promotion of good design and amenity of the built environment.

Apartment Design Guide

Part 3: 3D Communal & Public Open Space

Part 4: 4O Landscape Design

Part 4: 4P Planting on structures

## OBJECTIVES FOR GOOD DESIGN (GANSW)



**OBJECTIVE 1.**

**Better fit**  
contextual, local and of its place



**OBJECTIVE 2.**

**Better performance**  
sustainable, adaptable and durable



**OBJECTIVE 3.**

**Better for community**  
inclusive, connected and diverse



**OBJECTIVE 4.**

**Better for people**  
safe, comfortable and liveable



**OBJECTIVE 5.**

**Better working**  
functional, efficient and fit for purpose



**OBJECTIVE 6.**

**Better value**  
creating and adding value



**OBJECTIVE 7.**

**Better look and feel**  
engaging, inviting and attractive

A well-designed built environment is:

Healthy for all members of our communities, promoting physical activity and walkable environments, social cohesion, and community safety and security to support people’s well-being.

Responsive to the needs and aspirations of local people, now and into the future, inviting innovative use and habitation, interaction, productivity and enjoyment.

Integrated, by drawing together the relationships between parts and elements, considering interfaces at multiple scales, and working to common goals and aspirations.

Equitable by presenting opportunities for all segments of our community so residents and visitors have access to and can move about freely between public domain, infrastructure, open space and buildings.

Resilient to the dynamic, challenging conditions of our time, to adapt and evolve while retaining essential qualities and values





# INTRODUCTION & CONTEXT (DCP)

- WILLOUGHBY COUNCIL CHATSWOOD CBD STRATEGY TO 2036

- This landscape architectural report presents the landscape design philosophy for the proposed redevelopment of 9-11 Nelson Street, Chatswood. The design incorporates a series of external spaces that are publicly accessible for both the community and tenants of the proposed residential tower. This report has been prepared after review of the **Willoughby Council Chatswood CBD Strategy to 2036**.

The proposed spaces include:

- Nelson Street and Gordon Avenue frontages and setback which provides an opportunity for an expanded public domain which incorporates a green frontage to Nelson Street and active streetscape to the proposed retail along Gordon Avenue;
- An outdoor cafe and community terrace to the north east corner the site;
- A sensitive revitalisation of the existing pocket park at the end of Gordon Avenue which retains the existing trees and increases the grass areas by rationalizing the path network and connecting the park to the future retail to our site;
- The pocket park is activated by the proposed retail on our site and the shared pedestrian and cycle path to the eastern edge of the park.
- The Shared path has been enhanced by an expanded public domain and green edge to the eastern boundary of our site.

EXISTING CONDITIONS

- The subject site is well located on the fringe of the Chatswood's CBD. Within easy walking and cycling access to the CBD, buses, and trains. Both Nelson Street and Gordon Streets have mature street trees that provide shade and amenity to the street.
- The site topographic is relatively level, Gordon Avenue
- RL's +98.98 and Nelson Street RL's 101.31
- There is access via a shared path (pedestrian and cycle) along the eastern boundary of the site which provides a direct connection to the railway station.
- There is an existing pocket park at the end of Gordon Avenue adjacent to the shared path, the park is under used and has no furniture.
- The existing vegetation on the site include two mature trees on the western boundary near Nelson Street and semi mature ornamental trees to the private courtyards along Nelson Street and also screening trees along the western edge

WILLOUGHBY COUNCIL CHATSWOOD CBD STRATEGY TO 2036

- Chatswood CBD will be confident, fine grain and green. It will be a diverse,
- Vibrant, active and accessible place, with attractive places for residents, workers and visitors to enjoy Landscape and Public Domain Principles

1. Great public places – New spaces and links will be created with improvements

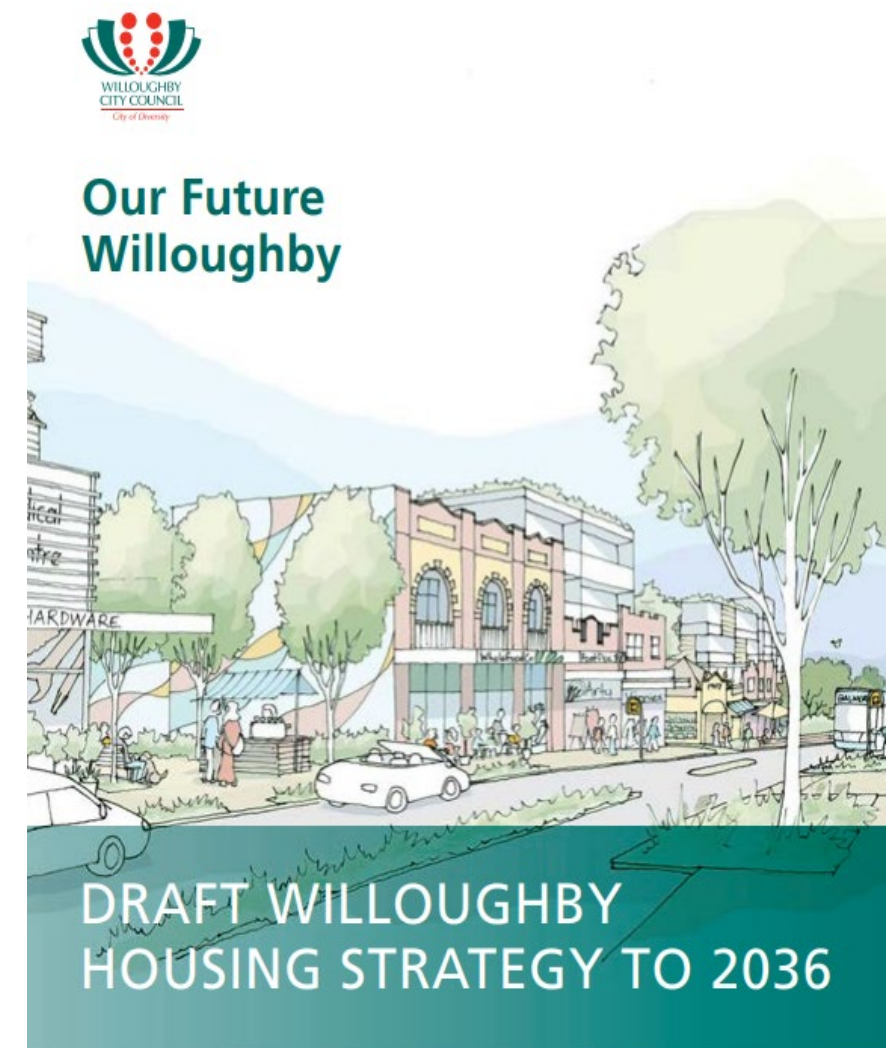
To existing areas to provide a variety of high quality, interesting public places for Chatswood into the future.

2. Sustainable and active transport – A balanced approach will be adopted with

Travel demand management at its core to address future transport needs in line with growth while ensuring sustainable outcomes for Chatswood.

3. Urban design quality – A high quality of urban design and cohesive environment delivering an attractive centre for all.

4. Greening the centre – Chatswood is the focal centre of the leafy North Shore and this will be reflected through greening of the streetscape as well as green areas on and around new buildings.



February 2019



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# URBAN CONTEXT

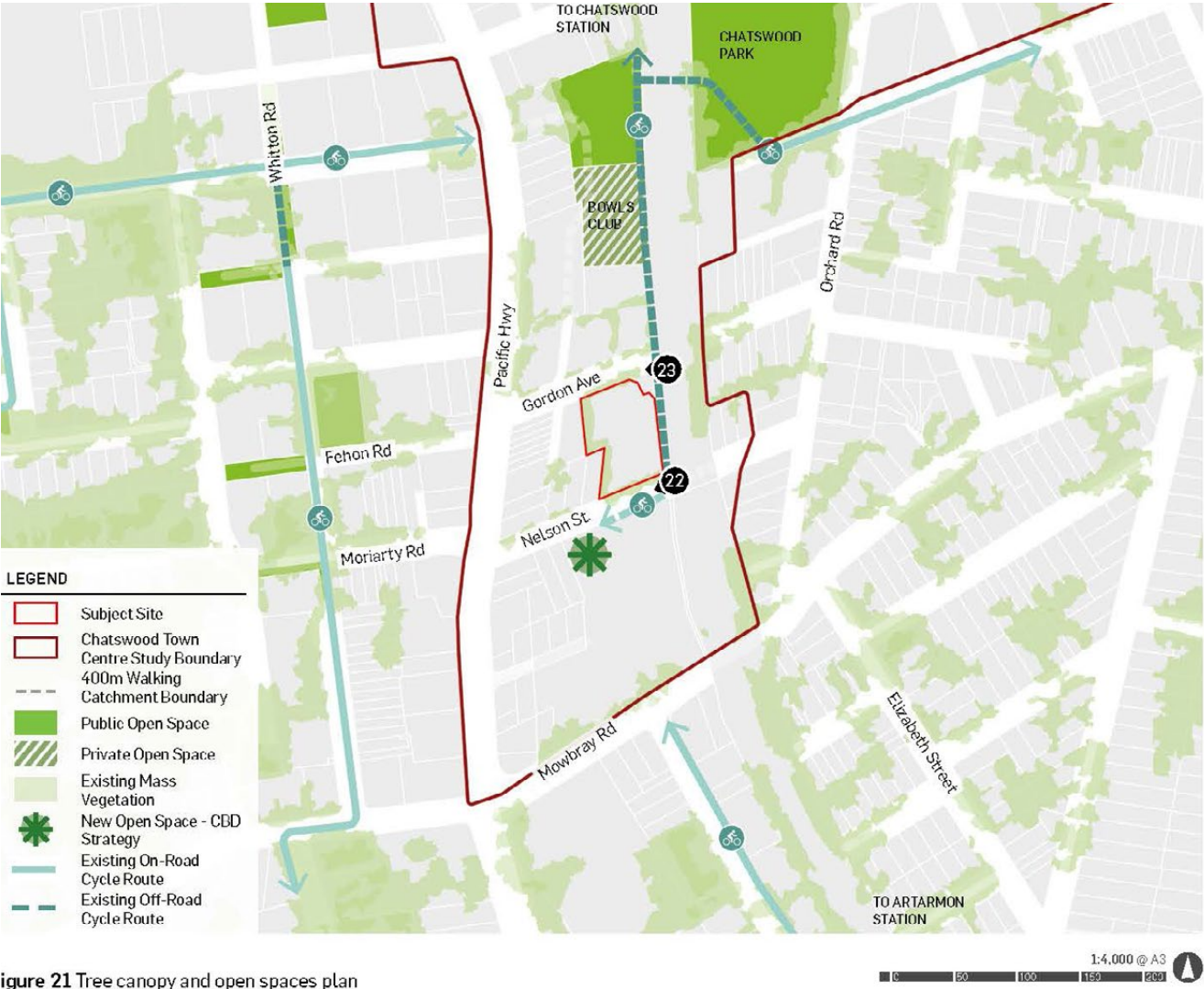


Figure 21 Tree canopy and open spaces plan



Figure 3 Aerial photograph

Extract- Urban Context report - Prepared by Urbis dated June 2012



# DESIGN OBJECTIVES



## A SAFE CONNECTED COMMUNITY

A welcoming neighbourhood that creates a sense of belonging and security whilst being connected to the wider local community of quality schools and local lifestyle amenity. The proposal expands on the sites existing assets and creates a new community destination. We aim to create resilient communities with shared spaces & encourage community support & engagement



## SUSTAINABILITY & INNOVATION

We aim to create resilient spaces harnessing innovation and a commitment to a sustainable community for all. The proposal aims to increase Urban canopy & City greening improve Green infrastructure - with a minimum 30% site canopy coverage through implementation of trees & 'green' canopy structures to mitigate heat island effect.



## HARMONY WITH NATURE

Biophilic design principles influence the urban design to balance built form with natural landscape. Supported by generous open spaces vegetated corridors and selective tree-planting to enhance the beauty of the site. We aim to create a Green Heart to the development with an emphasis on tree Canopy, natural materials and sustainability.



## A HEALTHY LIFESTYLE

A site designed for a healthy, positive lifestyle with public spaces, active linkages, sporting facilities and nearby access to township amenities and transport. We aim to enhance the existing site with connections to existing reserves and the wider context







We acknowledge the Cammeraygal people of the Eora Nation, the traditional Owners and Custodians of the land in which the our site is located and in which we gather, and pay our respects to the Elders past, present and future.

## DESIGN WITH COUNTRY PRINCIPLES

- Use of recycled materials & sandstone referencing local geology and oyster harvesting in the region.
- Creating informal and formal gathering spaces throughout the landscape & public domain referencing water from the nearby Lane Cove National Park and Coast & remembering past yarning/gatherings of local and regional clans in the area.

### “TO CREATE AN IMMERSIVE EXPERIENCE THAT REFLECTS THE LOCAL ECOLOGICAL CONTEXT AND HERITAGE VALUES OF CHATSWOOD”

Embracing the use of endemic planting Creating a Sense of Place & Unique ‘Village’ Experience

- Understanding & Acknowledging the contrasting past of the site and celebrating its evolution through materials & planting.
- Setting a precedent in Chatswood with a new model for ground floor retail by creating a finer grain pedestrian retail village through a series of laneways which not only act as movement corridors but also act as edges for retail activation & new frontage.
- Embedding a fine grain human touch to these spaces through landscape, public domain furniture, lighting & public art.



# DESIGN STATEMENT

## Public Domain & Streetscapes

Nelson Street and Gordon Avenue frontages and setbacks provide an opportunity for an expanded public domain which incorporates a green frontage to Nelson Street and active streetscape to the proposed retail along Gordon Avenue including

- An outdoor cafe and community terrace to the north east corner the site;
- A sensitive revitalisation of the existing pocket park at the end of Gordon Avenue which retains the existing trees and increases the grass areas by rationalizing the path network and connecting the park to the future retail to our site;
- The pocket park is activated by the proposed retail on our site and the shared pedestrian and cycle path to the eastern edge of the park.

## Access, Egress & Connectivity

The pedestrian link act as the primary connectivity spines with finer grain permeability promoted throughout the ground plane maximising access and circulation. All fire exits are located near or adjacent to key pathways, pedestrian links and streetscapes promoting safe egress and evacuation if and when required.

## CPTED, Safety & Visibility

All raised edges & planter walls are at seating height or lower allowing clear sight-lines and visibility throughout the ground plane. Trees are used to frame spaces and ensure clear visibility to and from the streetscape at all times. Regular congregation spaces and retail activation enables passive surveillance to all areas, discouraging undesired behaviour and possible blind spots.

## Universal Access & DDA Compliance

The ground plane offers full universal accessibility to all reception, lobby and retail areas at maximum 1:21 grades reducing the amount of handrails and clutter in the public realm.

## Deep Soil, Soil Depths on Podiums & Permanent Planting

All planters have a minimum soil depth of 1000mm with a minimum 200-350mm slab setdown achieved throughout all landscaped areas in the development. This allows planter walls to be at seating height with additional 1:3 mounding to achieve soil depth for small trees where shown on plan. All noted planted areas in the design is permanent planting.

## Community & Placemaking

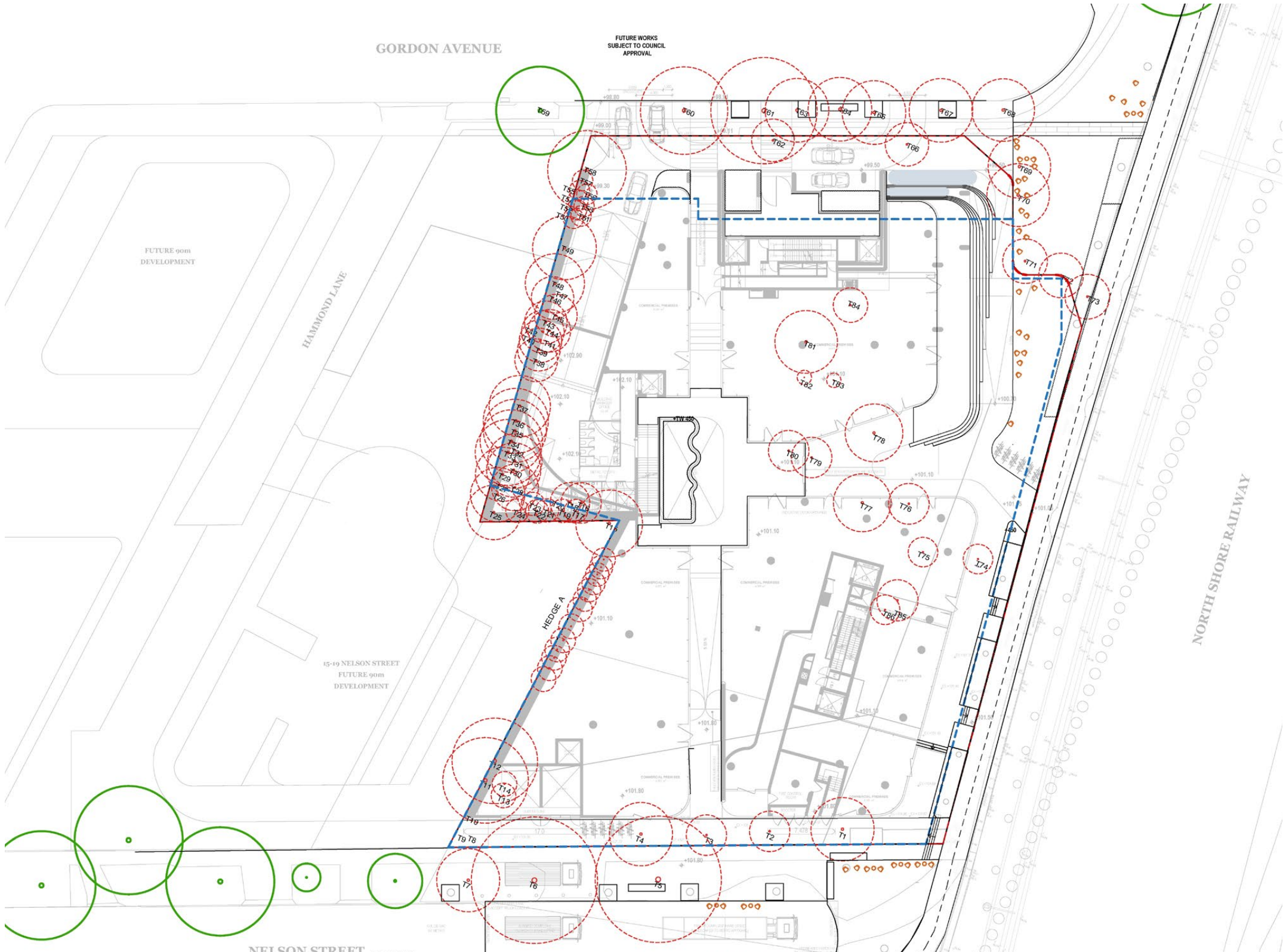
The DA design process enabled Land and Form Studios and DKO Architects to workshop the site's capability for placemaking, community events and day and night activation.





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FORM

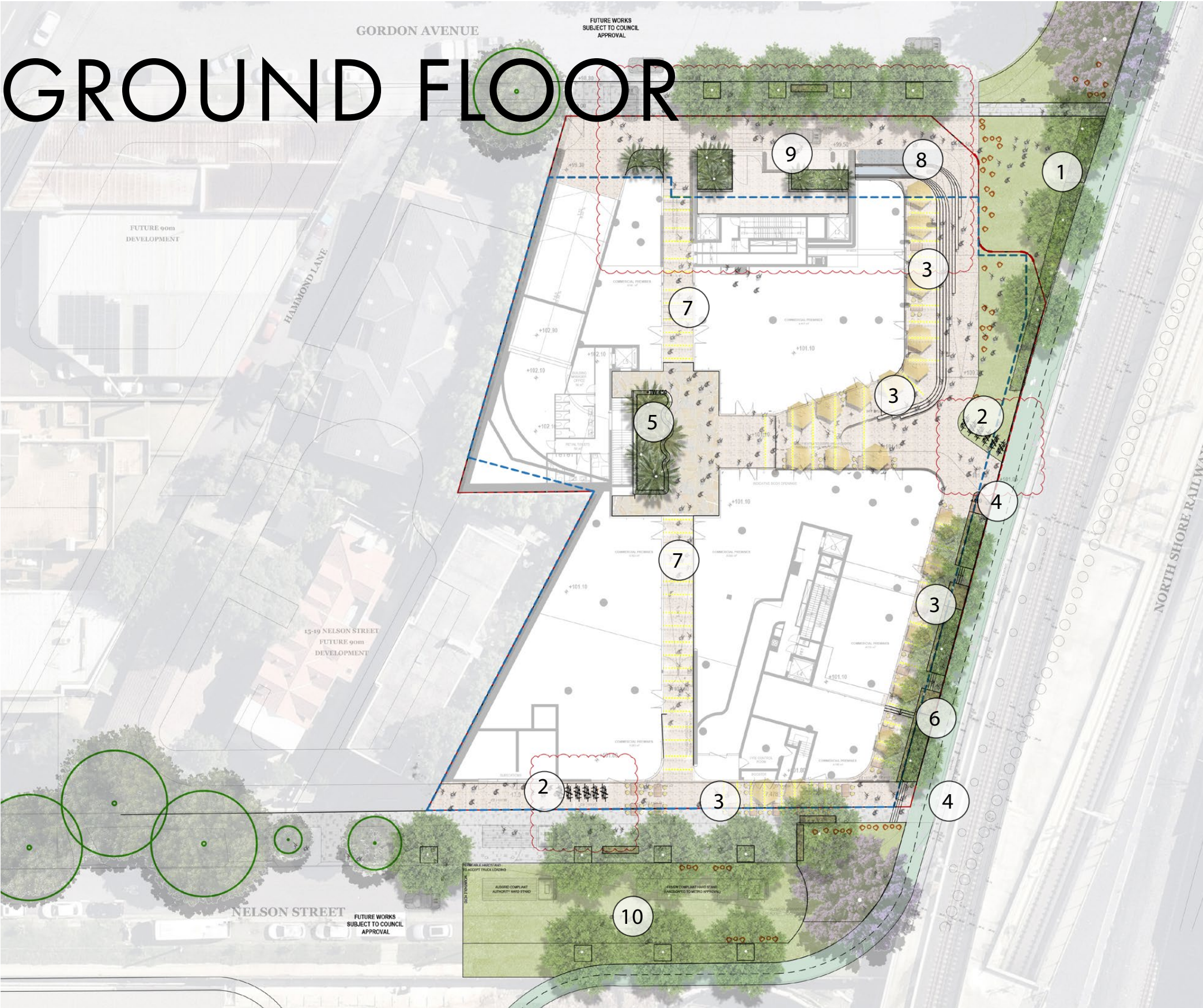
# TREE MANAGEMENT



PLEASE REFER TO ARBORIST REPORT

SCALE 1:400 0 5 10 15 20 1:400@ A3

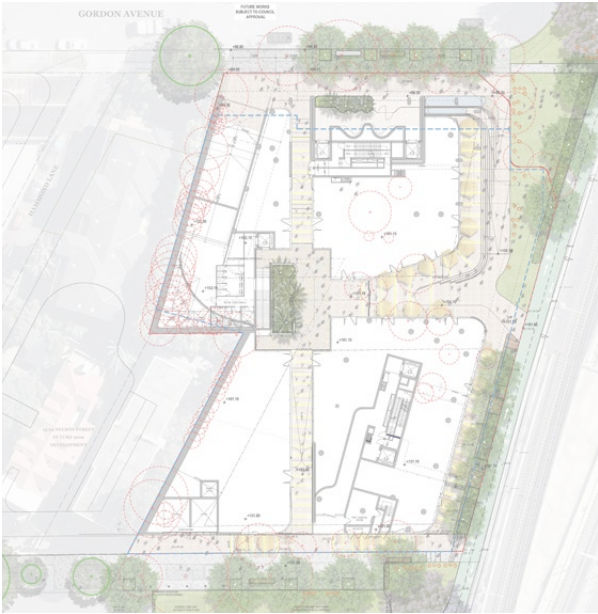




- 1 KEY POCKET PARK TO GORDON ST WITH PASSIVE LAWN / FLEXIBLE CHAIRS WITH CYCLEWAY CONNECTION AND INTEGRATION OF SHARED PEDESTRIAN FRIENDLY ZONES -
- 2 BIKE RACKS PROVIDED
- 3 ACTIVE RETAIL EDGES WITH GENEROUS PLAZA / SEATING DINNING SPACES
- 4 CYCLEWAY CONNECTION TO BE RETAINED
- 5 OPEN TO AIR LEVEL 1 ENTRY FOYER WITH FEATURE PLANTING
- 6 NATIVE TREE CANOPY AND BUFFER TO EASTERN EDGES
- 7 CENTRAL PEDESTRIAN LINKAGES WITH LIGHTING AND WAYFINDING INTERACTIVE PAVING
- 8 WATER FEATURE
- 9 PORTE COCHERE ENTRY
- 10 LAWN AREA TO THE END OF NELSON STREET WITH REINFORCED GRASS MESH TO ACCEPT TRUCK LOADING



GROUND FLOOR





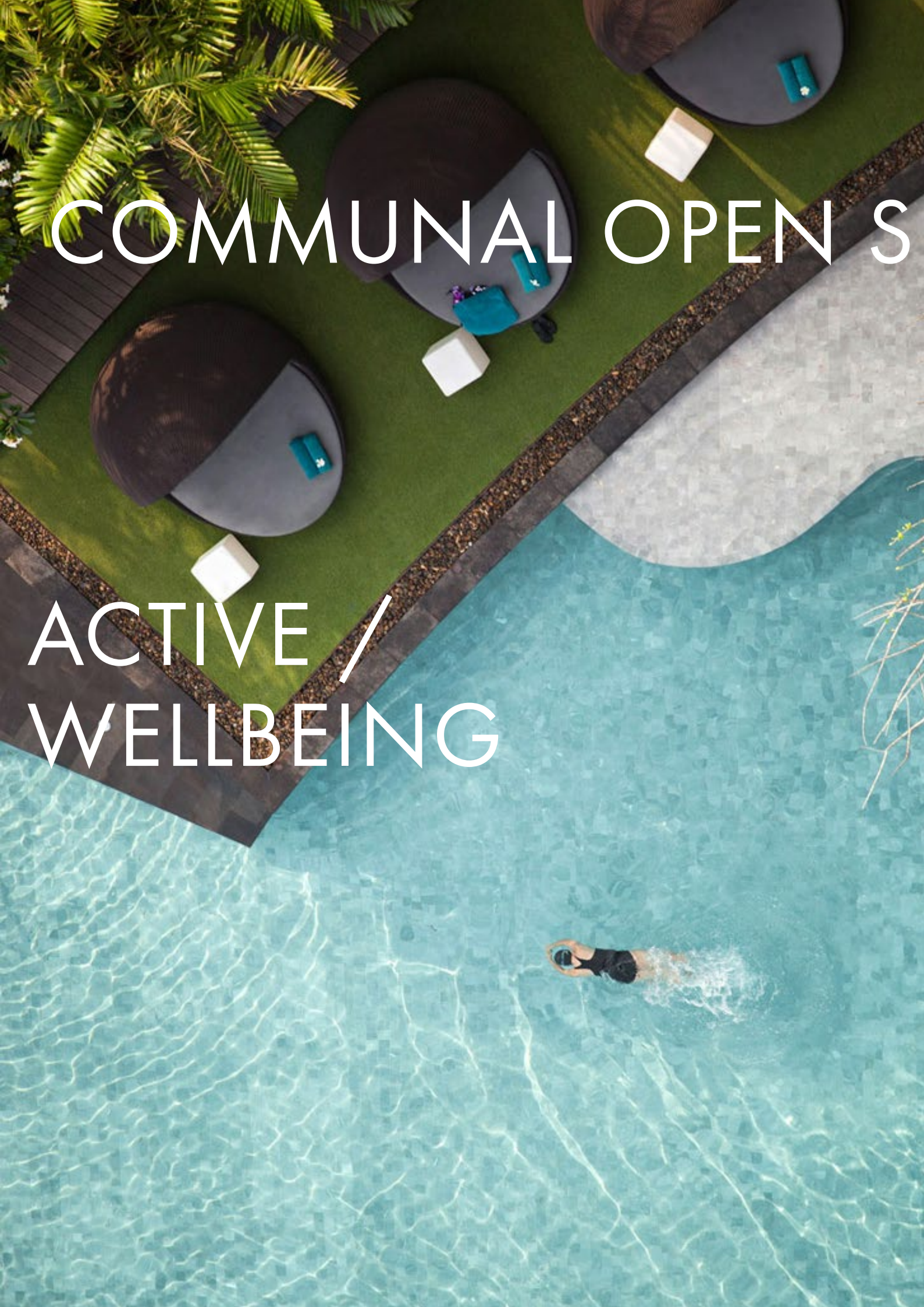
LAND AND FORM

# LEVEL 1



- 1 CASCADING PLANTERS TO BUILDING EDGE
- 2 OUTDOOR BREAKOUT SPACE





COMMUNAL OPEN SPACE

ACTIVE /  
WELLBEING



RETREAT / LIVING



LAND AND FORM

LEVEL 2 COMMUNAL SPACE

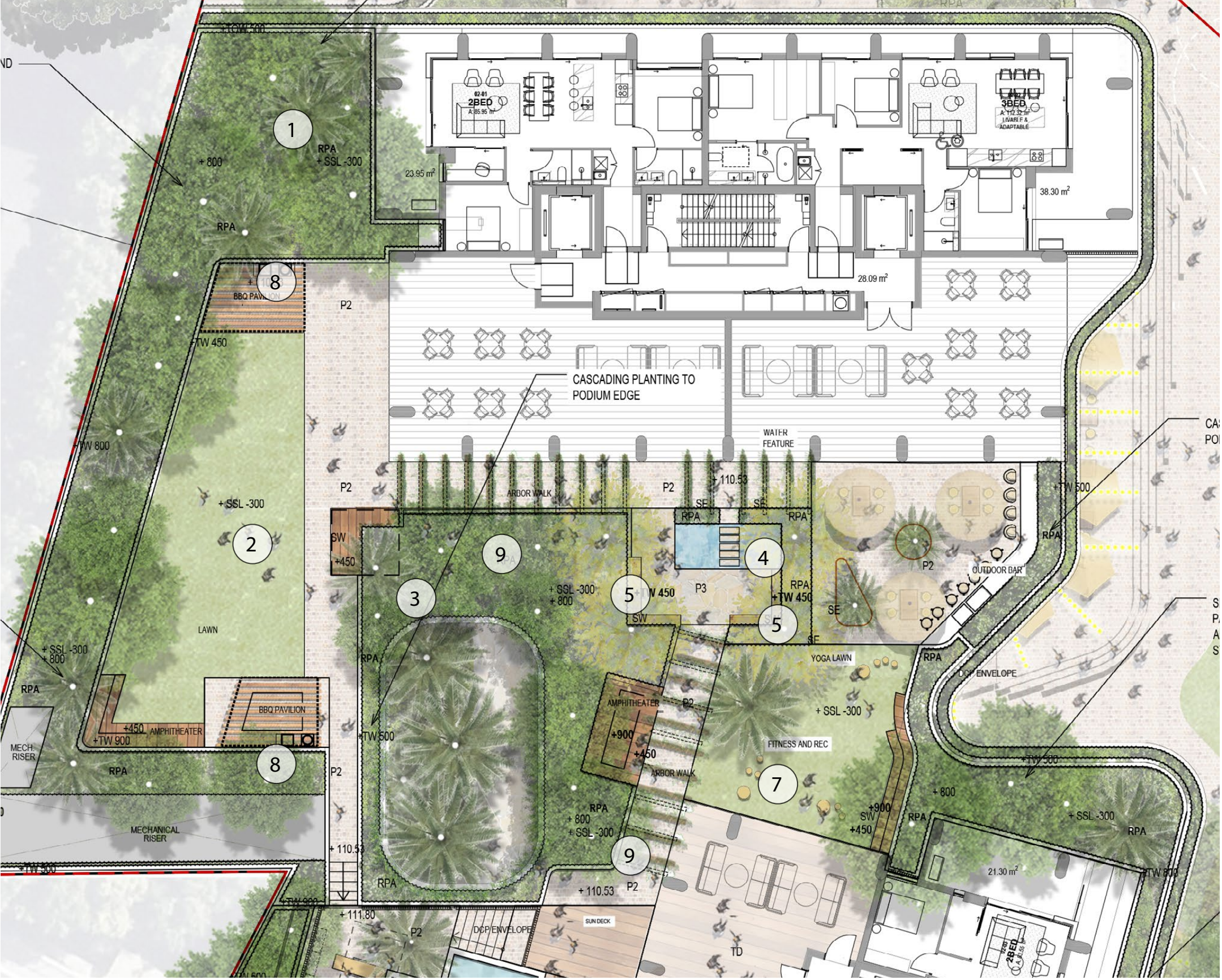


- 1 25M X 5M CENTRAL POOL ORIENTATED TO NORTH WEST FOR MAXIMUM SUN AND CONNECTION TO INDOOR COMMUNAL FACILITY CABANAS INCLUDED FOR SHADE AND LOUNGES ON WESTERN PODIUM EDGE
- 2 PLUNGE POOL WITH INFORMAL EDGES FOR LOUNGING WITH LOUNGE LAWN
- 3 SUNKEN POOL CABANA TO POOL EDGE
- 4 EXTENSIVE FOREST GARDEN TO MITIGATE BUILT SCALE AND PROVIDE PRIVACY WITH 1000MM SET DOWN & MOUNDING TO ACHIEVE A GARDEN SETTING. DEEP PLANTING ZONES WITH NATIVE PALMS AND NATIVE FOREST GULLY PLANTING
- 5 CASCADING PLANTING LINKING LEVELS ABOVE AND BELOW CREATING A BIOPHILIC GARDEN SETTING
- 6 FLEXIBLE YOGA LAWN
- 7 PASSIVE LAWN FOR INFORMAL BREAKOUT AND FAMILY GATHERINGS
- 8 PODIUM PAVILIONS WITH BBQ AND SEATING SPACES
- 9 ARBOUR WALK
- 10 WATER FEATURE - WITH SEATING AND GATHERING SPACES



# LAND AND FORM

## LEVEL 2 DETAILED PLAN

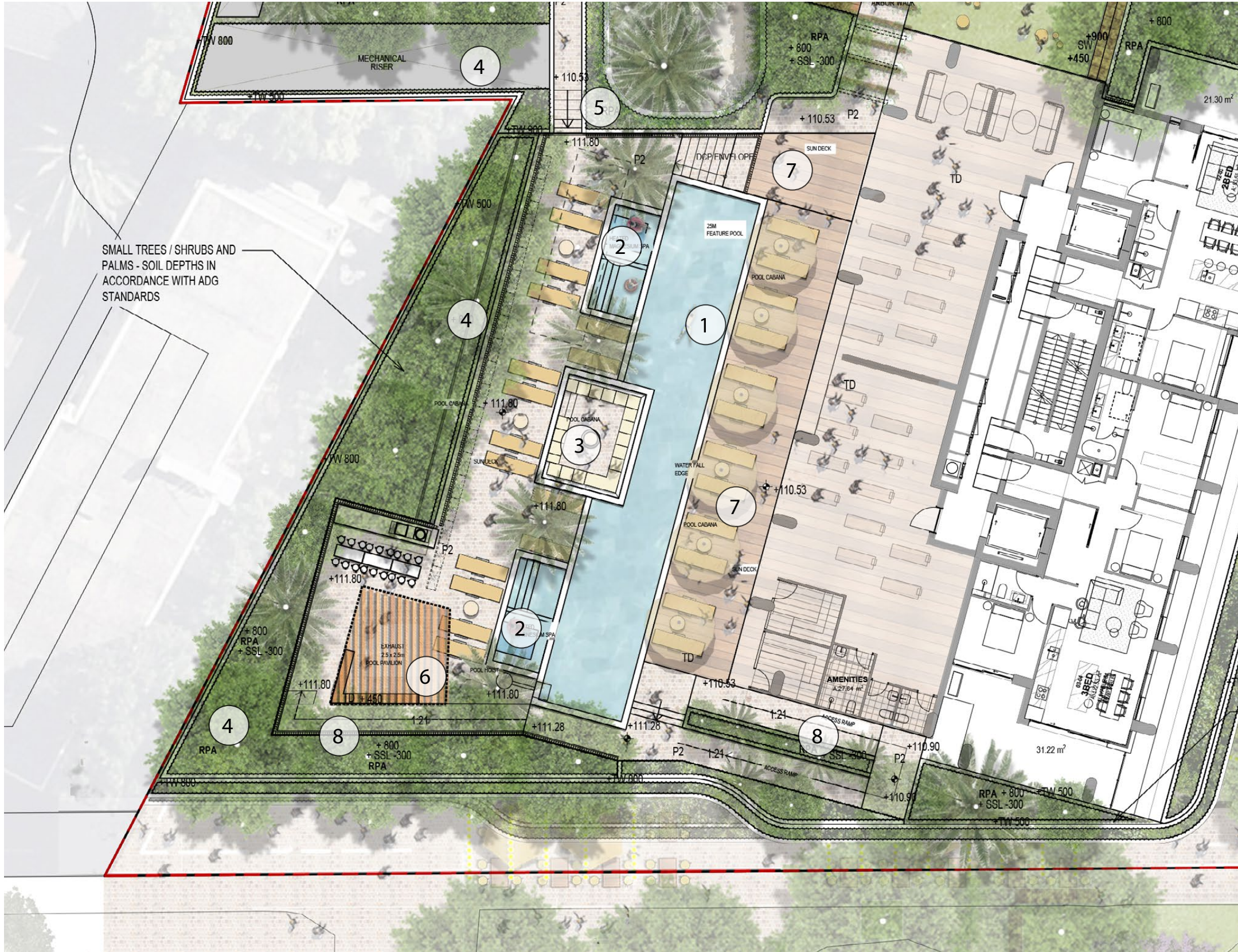


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- 2 PASSIVE LAWN FOR INFORMAL BREAKOUT AND FAMILY GATHERINGS
- 3 CASCADING PLANTING LINKING LEVELS ABOVE AND BELOW CREATING A BIOPHILIC GARDEN SETTING
- 4 SUNKEN WATER FEATURE WITH STEPPING STONES
- 5 SITTING & MEDITATION SPACES IN CONNECTION TO WATER FEATURES
- 6 LAWN SPACES IN FULL SUN FOR INFORMAL BREAKOUT AND FAMILY GATHERINGS
- 7 FLEXIBLE YOGA LAWN PROVIDING FITNESS AND GATHERING SPACES
- 8 PODIUM PAVILIONS WITH BBQ AND SEATING SPACES
- 9 ARBOUR WALK



# LAND AND FORM

## LEVEL 2 DETAILED PLAN



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- 5 CASCADING PLANTING LINKING LEVELS ABOVE AND BELOW CREATING A BIOPHILIC GARDEN SETTING
- 6 PODIUM PAVILIONS WITH BBQ AND SEATING SPACES
- 7 SUN DECK WITH SUN BEDS & UMBRELLAS
- 8 1:21 ACCESSIBLE RAMP GOING UP TO UPPER POOL EDGE



# LAND AND FORM

## LEVEL 2 DETAILED PLAN

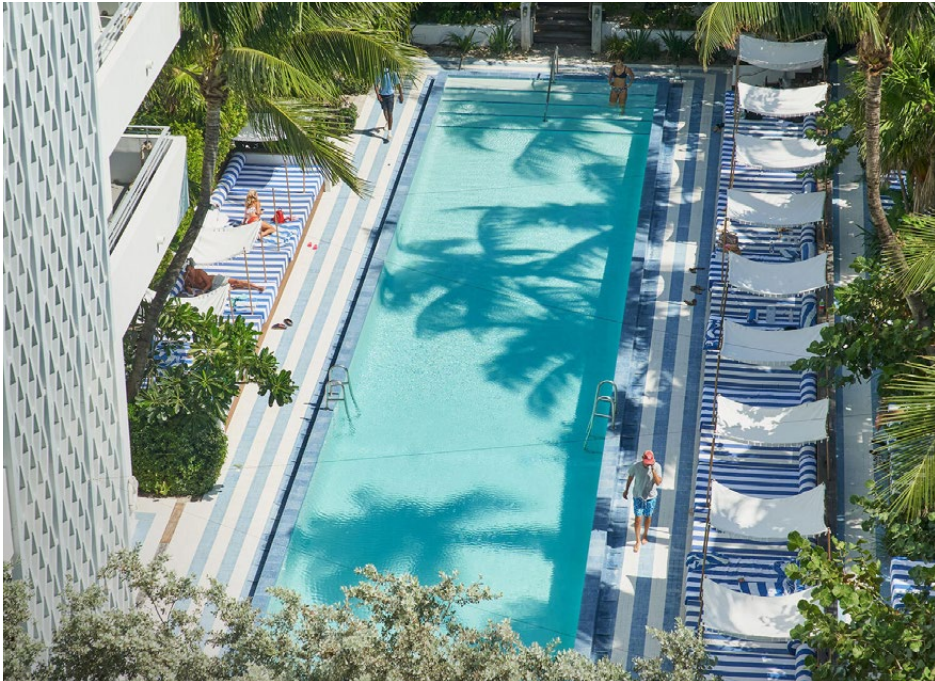


- 1 EXTENSIVE FOREST GARDEN TO MITIGATE BUILT SCALE AND PROVIDE PRIVACY WITH 1000MM SET DOWN & MOUNDING TO ACHIEVE A GARDEN SETTING. DEEP PLANTING ZONES WITH NATIVE PALMS AND NATIVE FOREST GULLY PLANTING
- 2 PASSIVE LAWN FOR INFORMAL BREAKOUT AND FAMILY GATHERINGS
- 3 CASCADING PLANTING LINKING LEVELS ABOVE AND BELOW CREATING A BIOPHILIC GARDEN SETTING
- 4 SUNKEN WATER FEATURE WITH STEPPING STONES
- 5 SITTING & MEDITATION SPACES IN CONNECTION TO WATER FEATURES
- 6 LAWN SPACES IN FULL SUN FOR INFORMAL BREAKOUT AND FAMILY GATHERINGS
- 7 FLEXIBLE YOGA LAWN PROVIDING FITNESS AND GATHERING SPACES
- 8 PODIUM PAVILIONS WITH BBQ AND SEATING SPACES
- 9 ARBOUR WALK



LAND  
AND  
FORM

POOL DECK





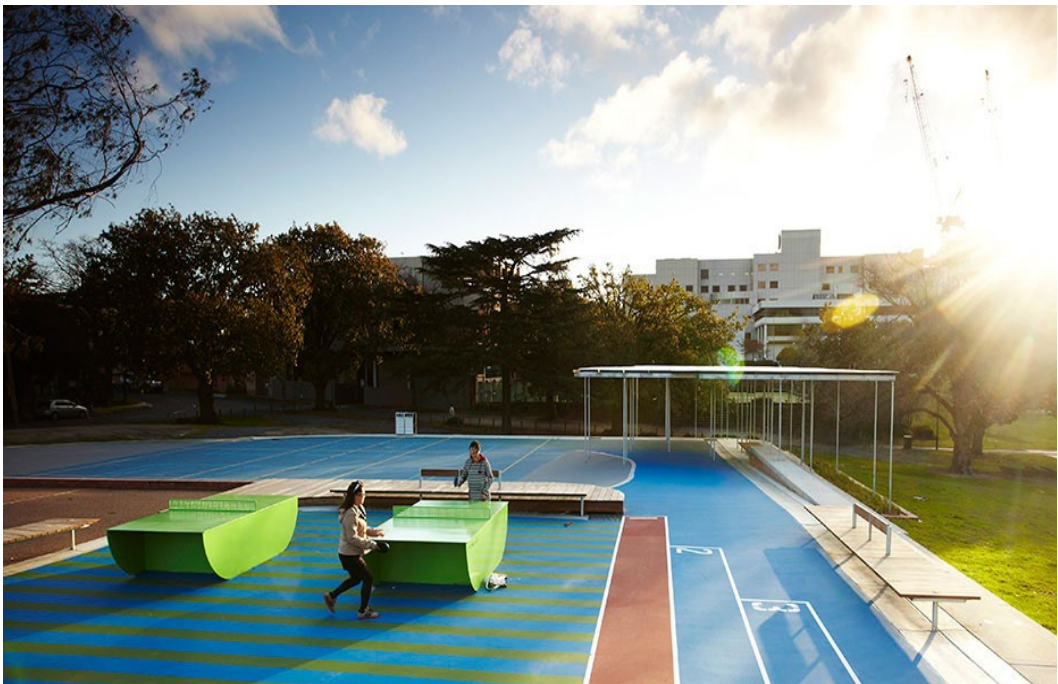
LAND  
AND  
FORM

# WATER FEATURE





# ACTIVITY LAWN - YOGA & GYM





# URBAN DECK BAR



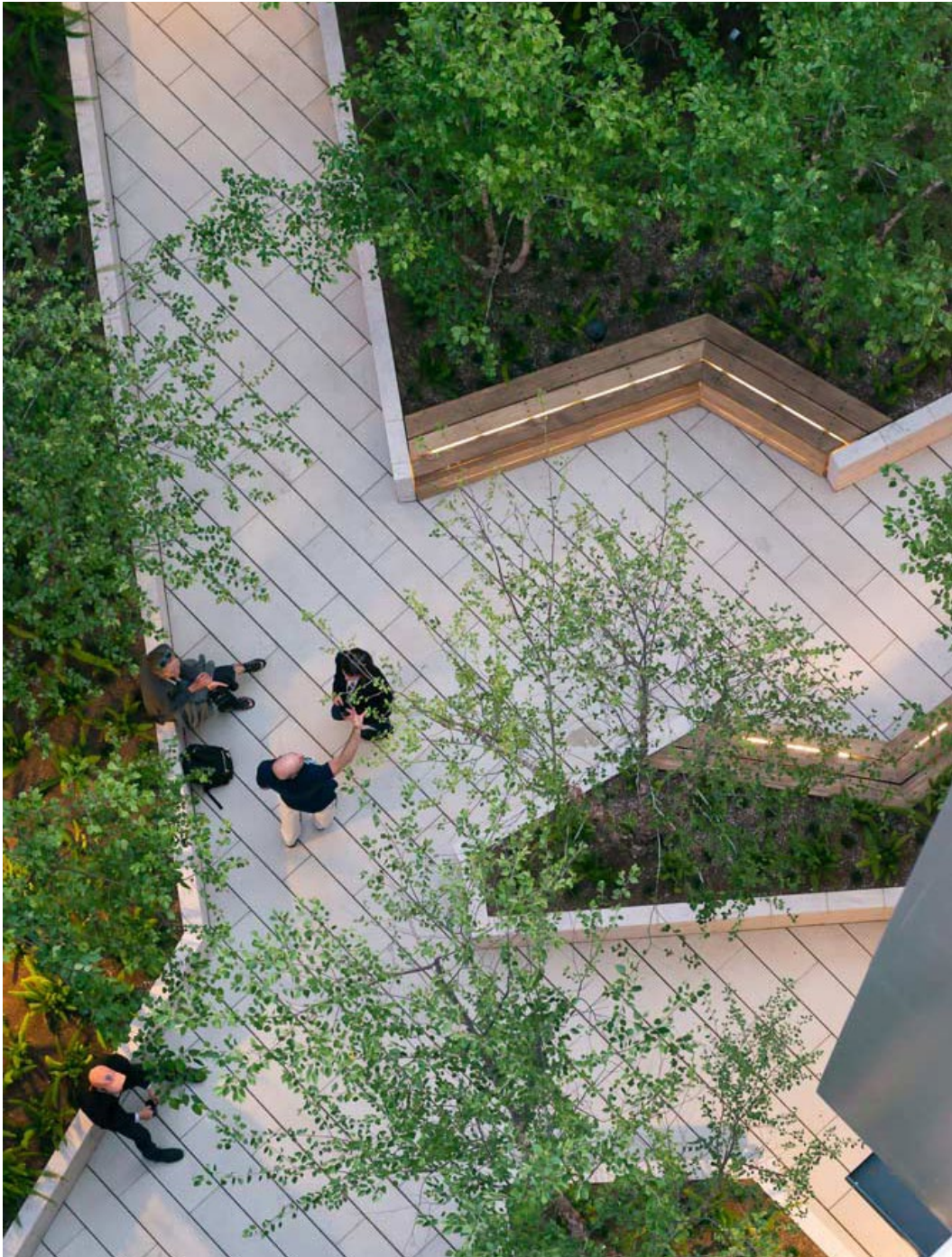
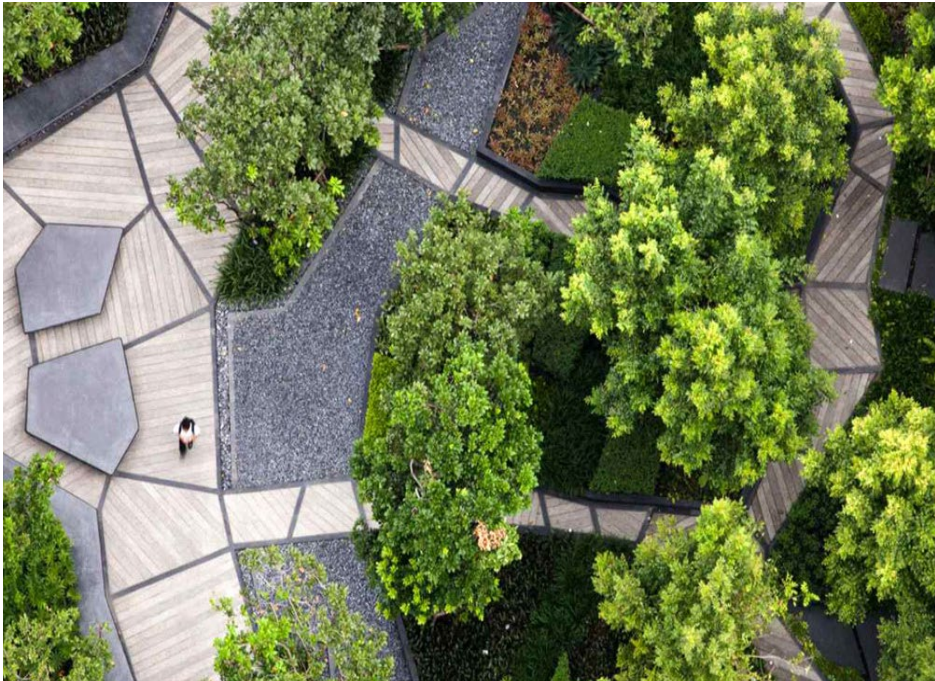


# LIVING QUARTER AND BBQ



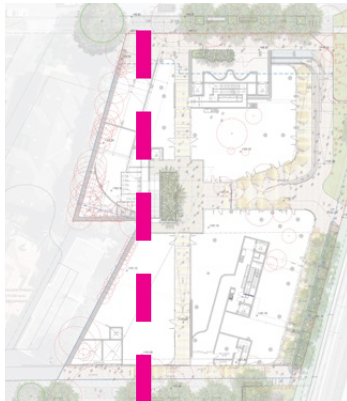
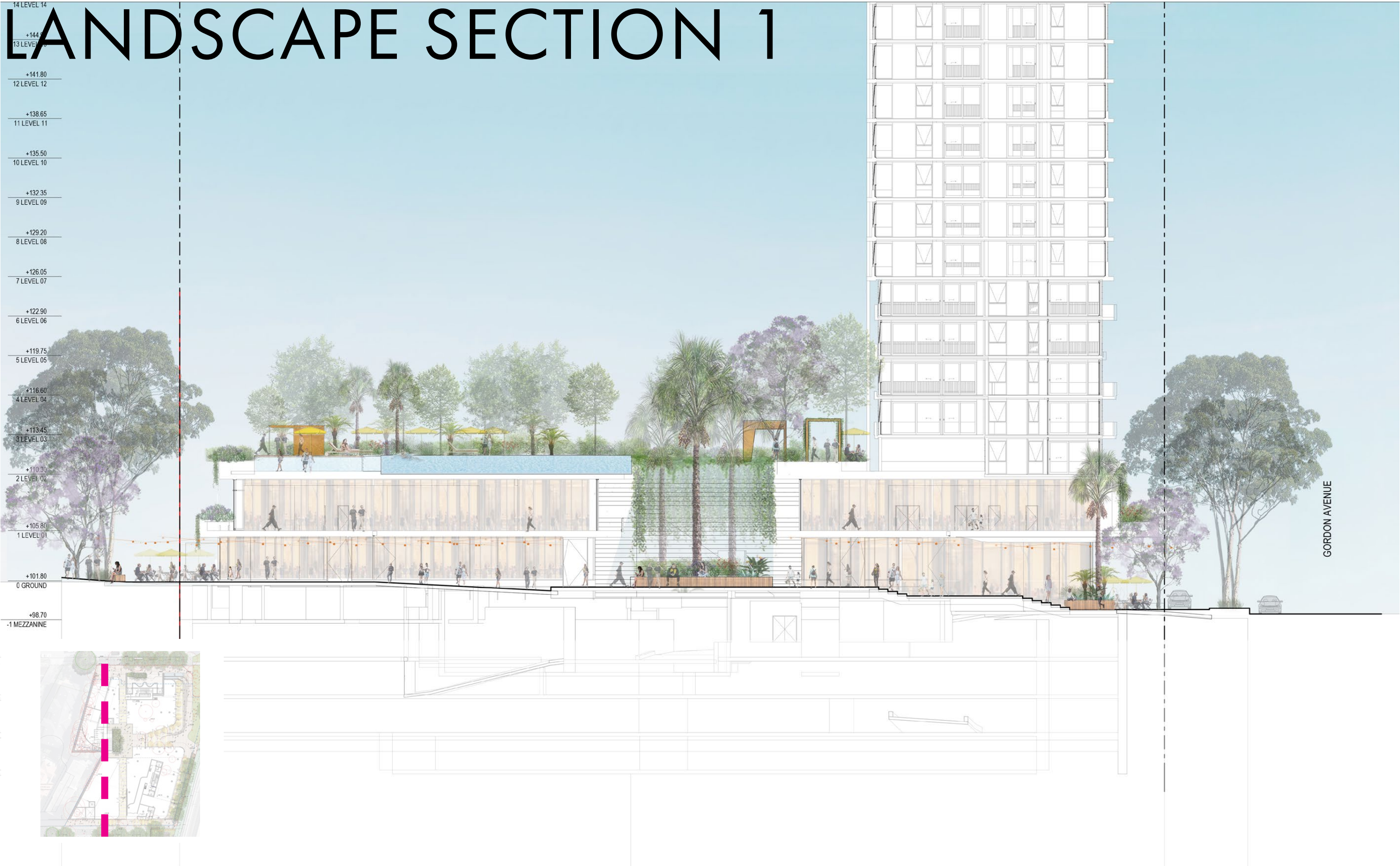


# GARDEN RETREAT SPACES



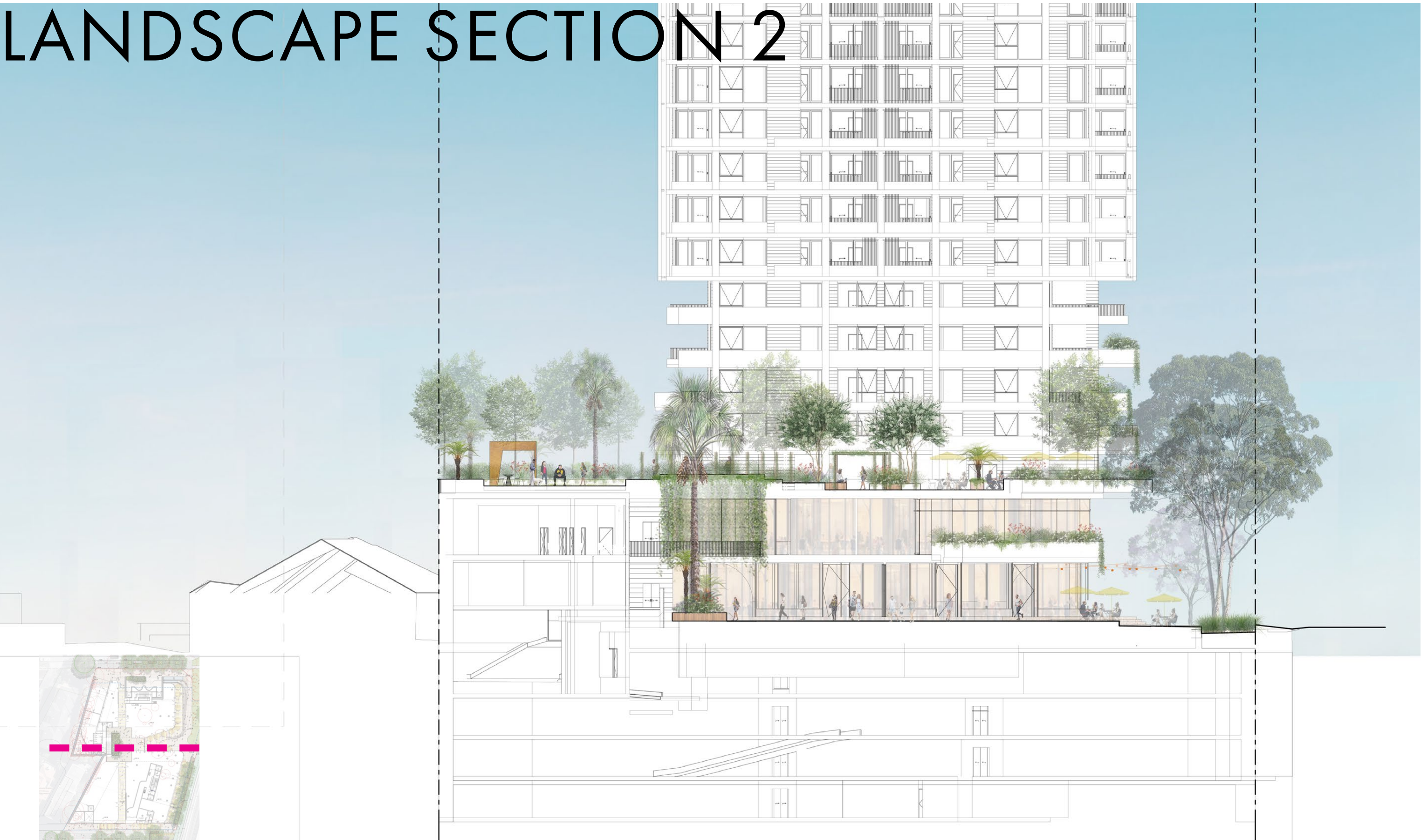


# LANDSCAPE SECTION 1





# LANDSCAPE SECTION 2





# PLANTING PALETTE

The planting is minimum 80% endemic and native to the area with the use of deciduous tree species used along roads and laneways running east-west to allow sunlight into the streetscapes during winter whilst also providing shade during summer. The native palette is a feature element of the design proposal with the intention of creating a natural haven for the local community. The species selection is made up of endemic and important vegetation to the local regions and has been cross referenced with councils native planting list.

TREES



*Livistona australis*



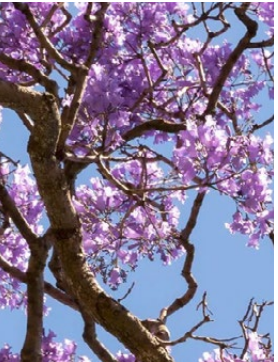
*Cupaniopsis anacardioides*



*Howea forsteriana*



*Lophostemon confertus*



*Jacaranda mimosifolia*



*Cyathea cooperi*



*Tristaniopsis laurina*



*Lagerstroemia indica*



*Eleaocarpus reticulatus*



*Fraxinus pennsylvanica*

SHRUBS



*Gompholobium grandiflorum*



*Leucopogon appressus*



*Cyathea cooperi*



*Acacia falcata*



*Backhousia myrtifolia*



*Pittosporum revolutum*



*Pimelia linifolia*



*Persoonia linearis*



*Dillwynia rudis*



*Grevillea speciosa*



*Leucopogon esquamatus*



*Styphelia triflora*

GROUNDCOVERS

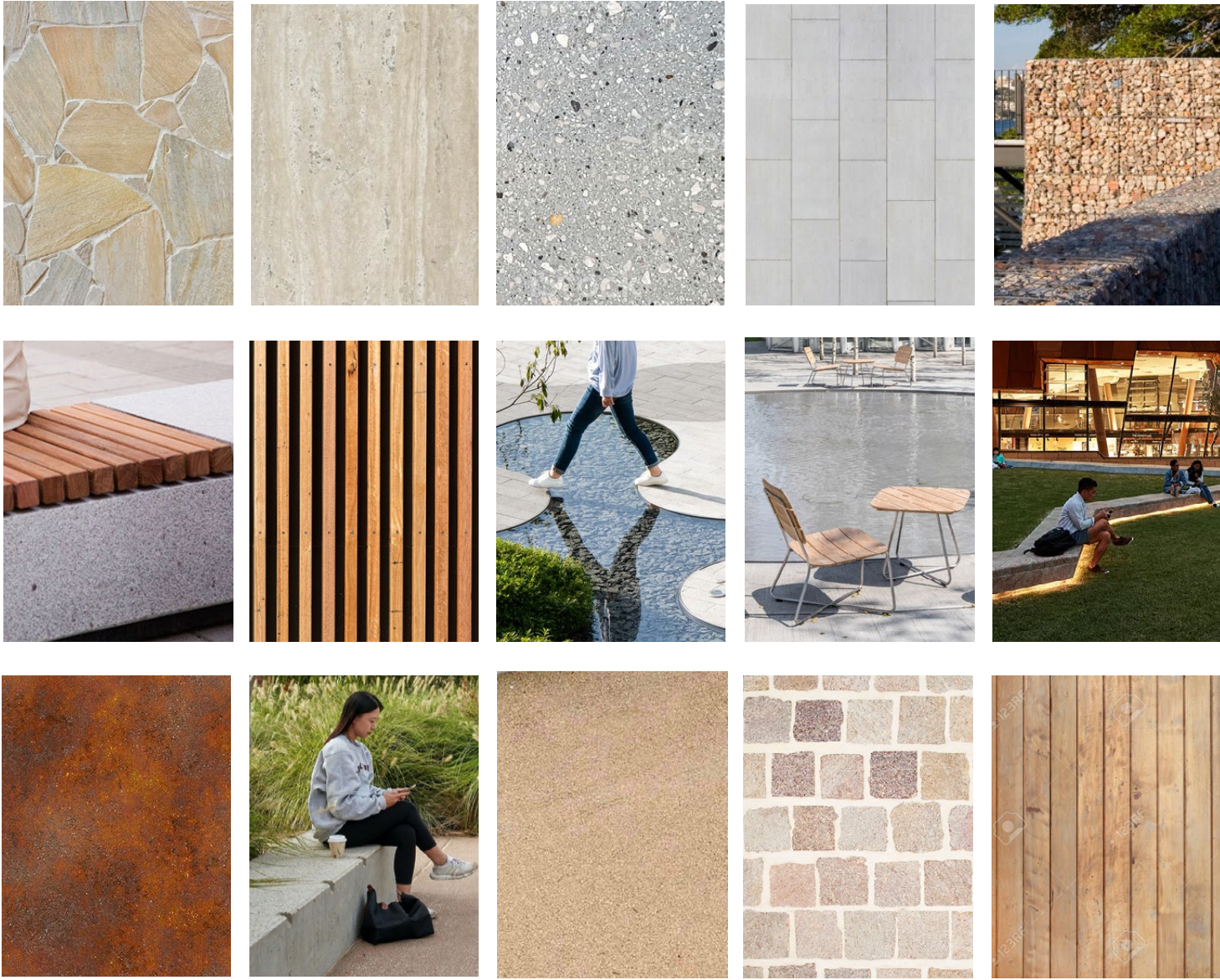




# LAND AND FORM

# MATERIALS PALETTE

The materiality complements the natural setting of the site with the use of natural materials such as stone and timber. A high quality set of finishes are proposed throughout the public domain and new park for longevity of use for the local community. As the proposal goes through the development approval process the team will work closely with Council to ensure the public domain aligns with Council’s ambitions, standards and guidelines.





# KEY TARGETS



## INCREASED TREE CANOPY

The retention of key existing trees and the provision of new public domain spaces will enable the site to increase the tree canopy to approx 28% to Reduced Urban Heat Island with the extension of the Native Sydney Blue Gum Forest Planting with Deep Soil Zones For Large Tree Planting



## IMPROVED PUBLIC DOMAIN

Materiality Reflecting Local Context And Character and Improved Connectivity within Wider Public Domain. with expanded Public Domain And Streetscapes



## BETTER CONNECTIVITY

The proposal will provide a safe and improved pedestrian connection to the wider context through activated streets. the design inetgrates the existing cycle network withe end of trip facilities and shared zones to Gordon and Nelson St



## ACTIVATION AND RECREATION

The project will activate the precinct and become a catalyst for the area with terraced landscape, a recreational spaces and ground floor retail activation. Level 2 podium includes swimming pool and outdoor recreational facilities with a focus on health and wellbeing





# LAND AND FORM